

SIP'N TREATS & DRINKS

A COMMERCIAL SUBDIVISION
SPANISH FORK, UTAH
FINAL PLAN SET
MARCH 2024

-SHEET INDEX-

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R.O.S	RECORD OF SURVEY

UDOT SITE PLAN NOTES:

1. ALL CONSTRUCTION WITHIN THE UDOT RIGHT-OF-WAY SHALL CONFORM TO THE MOST CURRENT UDOT STANDARD (INCLUDING SUPPLEMENTAL) DRAWINGS AND SPECIFICATIONS.
2. THE CONTRACTOR IS TO OBTAIN AN ENCROACHMENT PERMIT FROM THE APPLICABLE UDOT REGION PERMIT OFFICE PRIOR TO COMMENCING WORK WITHIN UDOT RIGHT-OF-WAY. WORKING HOUR LIMITATIONS WILL BE LISTED IN THE LIMITATIONS SECTION OF THE ENCROACHMENT PERMIT.
3. UDOT RESERVES THE RIGHT, AT ITS OPTION, TO INSTALL A RAISED MEDIAN ISLAND OR RESTRICT THE ACCESS TO A RIGHT-IN OR RIGHT-OUT AT ANY TIME.
4. OWNER, DEVELOPER, AND CONTRACTOR ARE RESPONSIBLE FOR ANY DAMAGES DIRECTLY OR INDIRECTLY WITHIN THE UDOT RIGHT-OF-WAY AS A RESULT OF DEVELOPMENT ACTIVITIES.
5. OWNER, DEVELOPER, AND/OR CONTRACTOR IS REQUIRED TO HIRE AN INDEPENDENT COMPANY FOR ALL TESTING WITHIN THE UDOT RIGHT-OF-WAY.
6. ALL SIGNS INSTALLED ON THE UDOT RIGHT-OF-WAY MUST BE HIGH INTENSITY GRADE (TYPE XI SHEETING) WITH A B3 SLIP BASE. INSTALL ALL SIGNS PER UDOT SN SERIES STANDARD DRAWINGS.
7. COMPLY WITH THE REQUIREMENTS OF UTAH CODE 17-23-14 (DISTURBED CORNERS - COUNTY SURVEYOR TO BE NOTIFIED - COORDINATION WITH CERTAIN STATE AGENCIES).

GENERAL NOTES:

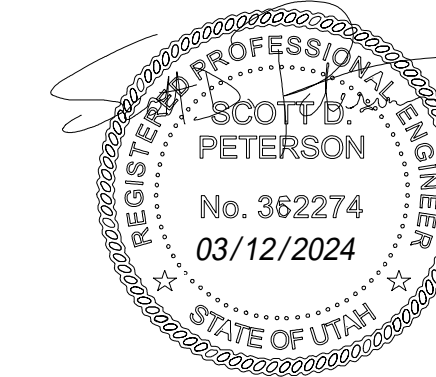
1. CONTRACTOR TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION, AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
2. ANY AND ALL DISCREPANCIES IN THESE PLANS ARE TO BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. BEFORE PROCEEDING WITH THIS WORK, THE CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL CONDITIONS, QUANTITIES, DIMENSIONS, AND GRADE ELEVATIONS, AND SHALL REPORT ALL DISCREPANCIES TO THE ENGINEER.
4. ALL DRINKING WATER AND PRESSURIZED IRRIGATION LINES UP TO AND INCLUDING THE METER, ALL SANITARY SEWER MAINS, ALL ELECTRICAL METERS, AND ALL ELECTRIC AND SFCN COMMUNICATION SERVICE LINES UP TO THE MAST ON OVERHEAD INSTALLATIONS AND TO THE TOP OF THE METER BASE FOR UNDERGROUND INSTALLATIONS ARE DEDICATED TO SPANISH FORK CITY.
5. ALL CONSTRUCTION WILL CONFORM TO SPANISH FORK CITY CONSTRUCTION STANDARDS.

CONTRACTOR NOTE:

THE SIZE, ELEVATION, & LOCATIONS OF EXISTING IMPROVEMENTS AND UTILITIES SHOWN HEREON ARE ASSUMED AND APPROXIMATELY SHOWN BASED UPON THE FIELD DATA FROM THE SURVEY. ALL SIZES, LOCATIONS & ELEVATIONS ARE TO BE VERIFIED. IF THERE ARE DIFFERENCES OR DISCREPANCIES, ATLAS ENGINEERING, LLC NEEDS TO BE NOTIFIED BEFORE CONSTRUCTION. ATLAS ENGINEERING, LLC WILL NOT BE LIABLE OR RESPONSIBLE FOR REMOVAL, CONSTRUCTION, OR INSTALLATION OF IMPROVEMENTS THAT ARE NOT IN ACCORDANCE WITH THESE PLANS. ANY AND ALL CHANGES OR VARIATIONS IN THE REMOVAL, CONSTRUCTION OR INSTALLATION OF THE IMPROVEMENTS MADE WITHOUT THE APPROVAL OF THE DESIGNER WILL RESULT IN SOLE LIABILITY TO THE CONTRACTOR. IN ADDITION, ATLAS ENGINEERING, LLC ASSUMES NO RESPONSIBILITY FOR ANY AND ALL EXISTING UTILITIES NOT SHOWN ON THIS PLAN AND ASSUMES NO LIABILITY FOR FAILURE TO EXACTLY LOCATE ALL EXISTING UTILITIES, SHOULD THERE BE INCIDENT.

ENGINEER/SURVEYOR CONTACT INFO:
ATLAS ENGINEERING LLC
(801) 655-0566
946 E. 800 N. SUITE A
SPANISH FORK, UT 84660

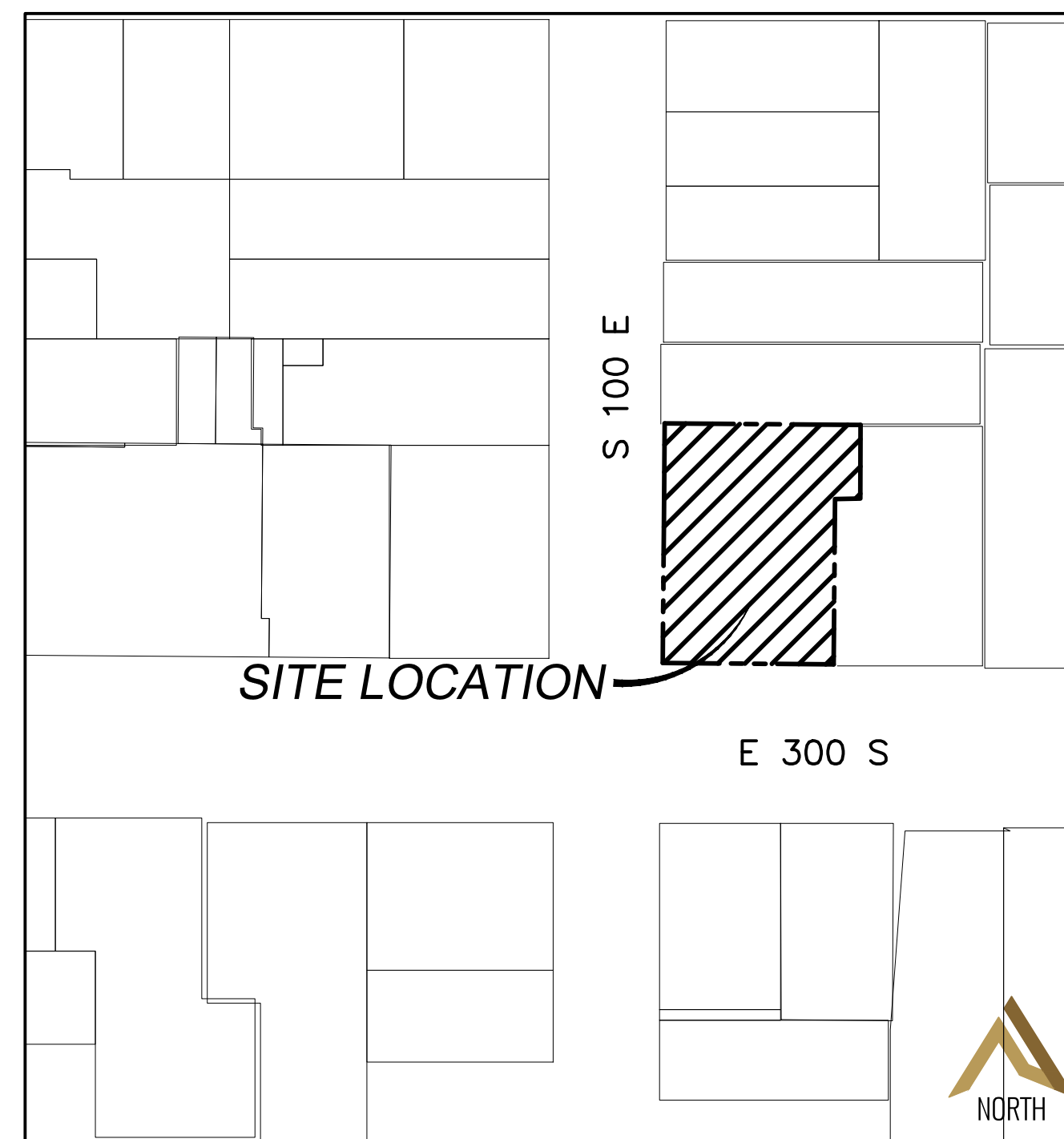
OWNER/DEVELOPER
DAVID SIMPSON
801-376-1966
407 NORTH MAIN STREET
SPRINGVILLE, UT 84663



LEGEND

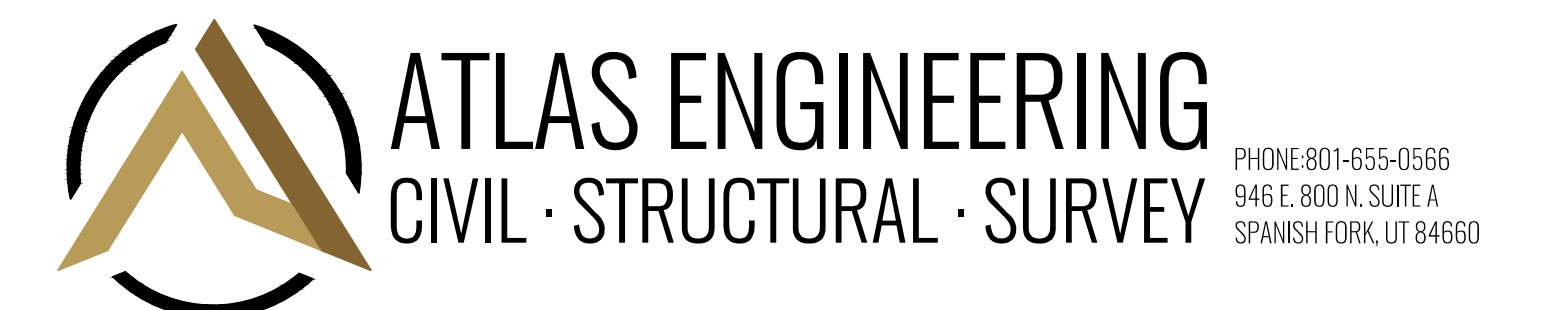
(APPLIES TO ALL SHEETS)

	EXISTING POWER POLE
	PROPOSED STREET LIGHT
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	EXISTING STREET LIGHT
	EXISTING SIGN
	PROPOSED FIRE HYDRANT
	PROPOSED WATER VALVE
	PROPERTY BOUNDARY
	CENTERLINE
	RIGHT-OF-WAY LINE
	LOT LINE
	SECTION LINE
	EASEMENT
	EXISTING DEED LINE
	EDGE OF PAVEMENT
	EXISTING OVER HEAD POWER
	EXISTING FENCE LINE
	EXISTING SANITARY SEWER W/MANHOLE
	EXISTING STORM DRAIN W/MH
	EXISTING WATER
	EXISTING PRESSURIZED IRRIGATION
	PROPOSED SEWER
	PROPOSED STORM DRAIN
	PROPOSED CULINARY WATER
	PROPOSED PRESSURIZED IRRIGATION (PURPLE PVC)



VICINITY MAP
-NTS-

SIP'N TREATS & DRINKS



AS SURVEYED PROPERTY DESCRIPTION

BEGINNING AT THE SOUTHWEST CORNER OF BLOCK 13, PLAT A, SPANISH FORK CITY SURVEY OF BUILDING LOTS, SAID POINT BEING LOCATED SOUTH 00° 10' 21" EAST 601.27 FEET ALONG THE SECTION LINE, AND EAST 475.34 FEET FROM THE WEST QUARTER CORNER SECTION 19, TOWNSHIP 8 SOUTH, RANGE 3 EAST, SALT LAKE BASE & MERIDIAN; THENCE NORTH 00° 28' 24" EAST 148.50 FEET; THENCE SOUTH 89° 31' 36" EAST 121.41 FEET; THENCE SOUTH 00° 09' 17" WEST 45.62 FEET; THENCE SOUTH 89° 01' 00" WEST 15.70 FEET; THENCE SOUTH 00° 27' 14" WEST 102.48 FEET; THENCE NORTH 89° 31' 36" WEST 106.00 FEET TO THE POINT OF BEGINNING.

AREA= 16,451 SQ. FEET, OR 0.3777 ACRES, MORE OR LESS

S 00° 10' 21" E
2666.06'
(BASIS OF BEARING)

WEST 1/4 CORNER SECTION 19
T. 8S., R. 3E., SLB&M
(FOUND UTAH COUNTY BRASS CAP)

WOOD, KEVIN W AND BRIAN E.
07:012:0002

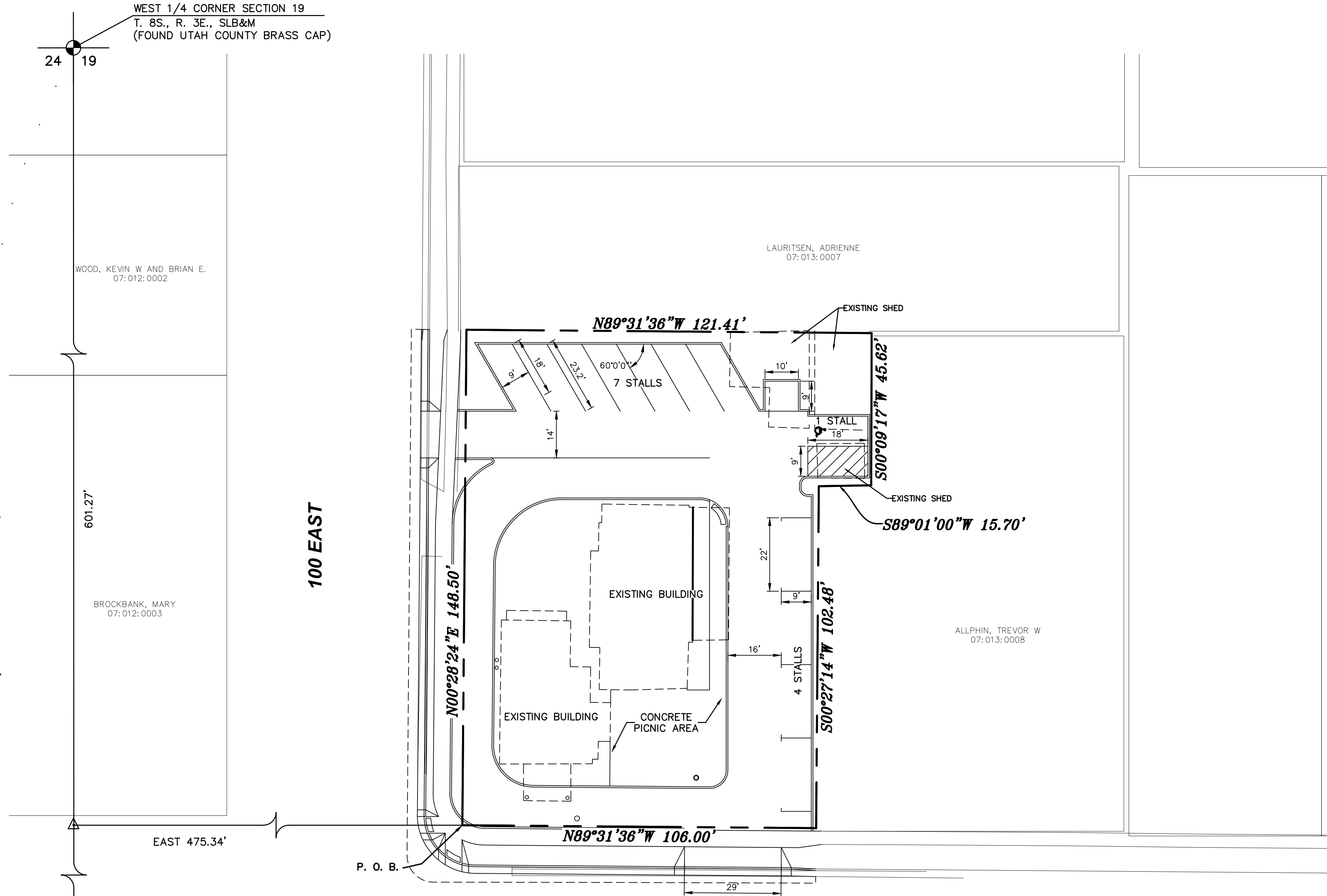
BROCKBANK, MARY
07:012:0003

LAURITSEN, ADRIENNE
07:013:0007

ALLPHIN, TREVOR W
07:013:0008

SOUTHWEST CORNER SECTION 19
T. 8S., R. 3E., SLB&M
(FOUND UTAH COUNTY BRASS CAP)

SOUTHWEST CORNER SECTION 19
T. 8S., R. 3E., SLB&M
(FOUND UTAH COUNTY BRASS CAP)



VICINITY MAP
-NTS-

DATA TABLE
TOTAL ACREAGE=0.38
TOTAL # OF LOTS=1
ACREAGE IN LANDSCAPING=0.057
PERCENT LANDSCAPING=15%
TOTAL # OF PARKING STALLS: 12
CURRENT ZONING=R-1-6
PROPOSED ZONING=C-2

OWNER/DEVELOPER
DAVID SIMPSON
801-376-1966
407 NORTH MAIN STREET
SPRINGVILLE, UT 84663

ENGINEER/SURVEYOR CONTACT INFO:
ATLAS ENGINEERING LLC
(801) 655-0566
946 E. 800 N. SUITE A
SPANISH FORK, UT 84660

NOTES
1. VERTICAL DATA BASED ON NAVD 88.
2. COORDINATE SYSTEM = NAD83
3. PROJECT TO BE COMPLETED IN XX PHASE(S).

LEGEND

- UTAH COUNTY MONUMENT
- SET 5/8" REBAR & CAP
- SET CURB PIN
- CALCULATED POINT, NOT SET
- PROPERTY BOUNDARY
- RIGHT-OF-WAY LINE
- LOT LINE
- SECTION LINE
- SETBACK
- EASEMENT
- CENTERLINE
- ADDRESSES
- PROPOSED LOT NUMBERS



(24"x36")
SCALE 1" = 20'
(11"x17")
SCALE 1" = 40'

SHEET NO.

2

NO.	REVISIONS	BY	DATE
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1			

OVERALL BOUNDARY

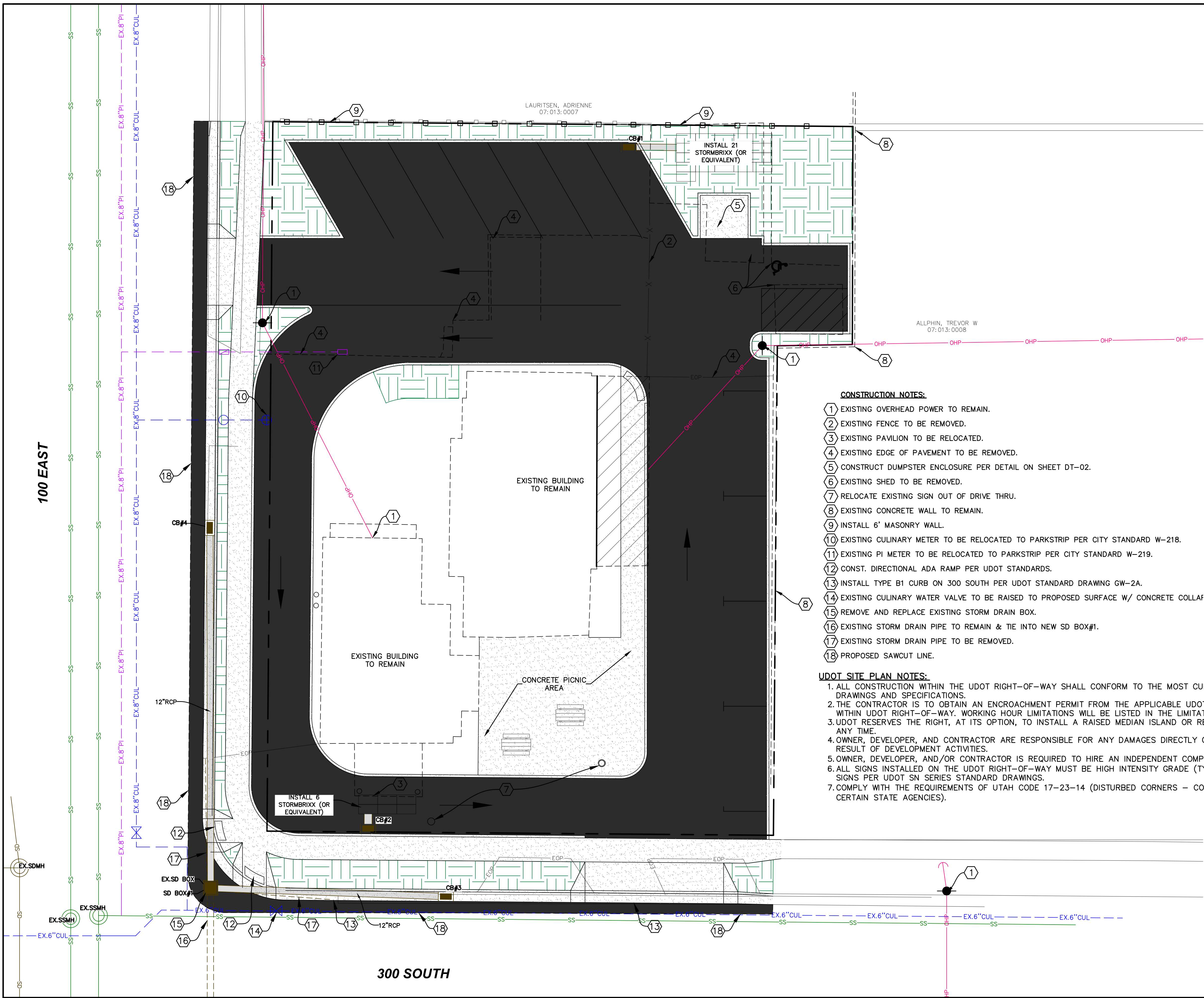
SPANISH FORK, UTAH

SIP'N TREATS & DRINKS

ATLAS ENGINEERING
CIVIL · STRUCTURAL · SURVEY



PHONE: 801-655-0566
946 E. 800 N. SUITE A
SPANISH FORK, UT 84660
Z:\2023\23-064_SIPN_SPANISH_FORK\CADD\FINAL\02-OVERALL_BOUNDARY.DWG



CONSTRUCTION NOTES:

- 1 EXISTING OVERHEAD POWER TO REMAIN.
- 2 EXISTING FENCE TO BE REMOVED.
- 3 EXISTING PAVILION TO BE RELOCATED.
- 4 EXISTING EDGE OF PAVEMENT TO BE REMOVED.
- 5 CONSTRUCT DUMPSTER ENCLOSURE PER DETAIL ON SHEET DT-02.
- 6 EXISTING SHED TO BE REMOVED.
- 7 RELOCATE EXISTING SIGN OUT OF DRIVE THRU.
- 8 EXISTING CONCRETE WALL TO REMAIN.
- 9 INSTALL 6" MASONRY WALL.
- 10 EXISTING CULINARY METER TO BE RELOCATED TO PARKSTRIP PER CITY STANDARD W-218.
- 11 EXISTING PI METER TO BE RELOCATED TO PARKSTRIP PER CITY STANDARD W-219.
- 12 CONST. DIRECTIONAL ADA RAMP PER UDOT STANDARDS.
- 13 INSTALL TYPE B1 CURB ON 300 SOUTH PER UDOT STANDARD DRAWING GW-2A.
- 14 EXISTING CULINARY WATER VALVE TO BE RAISED TO PROPOSED SURFACE W/ CONCRETE COLLAR
- 15 REMOVE AND REPLACE EXISTING STORM DRAIN BOX.
- 16 EXISTING STORM DRAIN PIPE TO REMAIN & TIE INTO NEW SD BOX#1.
- 17 EXISTING STORM DRAIN PIPE TO BE REMOVED.
- 18 PROPOSED SAWCUT LINE.

UDOT SITE PLAN NOTES:

1. ALL CONSTRUCTION WITHIN THE UDOT RIGHT-OF-WAY SHALL CONFORM TO THE MOST CURRENT UDOT STANDARD (INCLUDING SUPPLEMENTAL) DRAWINGS AND SPECIFICATIONS.
2. THE CONTRACTOR IS TO OBTAIN AN ENCROACHMENT PERMIT FROM THE APPLICABLE UDOT REGION PERMIT OFFICE PRIOR TO COMMENCING WORK WITHIN UDOT RIGHT-OF-WAY. WORKING HOUR LIMITATIONS WILL BE LISTED IN THE LIMITATIONS SECTION OF THE ENCROACHMENT PERMIT.
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4. OWNER, DEVELOPER, AND CONTRACTOR ARE RESPONSIBLE FOR ANY DAMAGES DIRECTLY OR INDIRECTLY WITHIN THE UDOT RIGHT-OF-WAY AS A RESULT OF DEVELOPMENT ACTIVITIES.
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6. ALL SIGNS INSTALLED ON THE UDOT RIGHT-OF-WAY MUST BE HIGH INTENSITY GRADE (TYPE XI SHEETING) WITH A B3 SLIP BASE. INSTALL ALL SIGNS PER UDOT SN SERIES STANDARD DRAWINGS.
7. COMPLY WITH THE REQUIREMENTS OF UTAH CODE 17-23-14 (DISTURBED CORNERS - COUNTY SURVEYOR TO BE NOTIFIED - COORDINATION WITH CERTAIN STATE AGENCIES).

LEGEND

	EXISTING POWER POLE
	PROPOSED STREET LIGHT
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	EXISTING STREET LIGHT
	EXISTING SIGN
	PROPOSED FIRE HYDRANT
	PROPOSED WATER VALVE
	PROPERTY BOUNDARY
	CENTERLINE
	RIGHT-OF-WAY LINE
	LOT LINE
	SECTION LINE
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	EXISTING DEED LINE
	EDGE OF PAVEMENT
	EXISTING OVER HEAD POWER
	EXISTING FENCE LINE
	EXISTING SANITARY SEWER W/MANHOLE
	EXISTING STORM DRAIN W/MH
	EXISTING WATER
	EXISTING PRESSURIZED IRRIGATION
	PROPOSED SEWER
	PROPOSED STORM DRAIN
	PROPOSED CULINARY WATER
	PROPOSED PRESSURIZED IRRIGATION (PURPLE PVC)
	LANDSCAPING AREA
	PORTION OF EXISTING BUILDING TO BE REMOVED
	PROPOSED CONCRETE/SIDEWALK/CURB & GUTTER
	PROPOSED ASPHALT

GENERAL NOTES:
 ALL EXISTING CONCRETE AND ASPHALT THROUGHOUT SITE TO BE REMOVED AND REPLACED WITH 3" ASPHALT.

DATA TABLE

TOTAL ACREAGE=	0.38
TOTAL # OF LOTS=	1
ACREAGE IN LANDSCAPING=	0.057
PERCENT LANDSCAPING=	15%
TOTAL # OF PARKING STALLS:	12
CURRENT ZONING=	R-1-6
PROPOSED ZONING=	C-2



(24"x36")
 SCALE 1" = 10'
 (11"x17")
 SCALE 1" = 20'

SHEET NO.

3

NO.	REVISIONS	DATE
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SITE PLAN

SPANISH FORK, UTAH

SIP'N TREATS & DRINKS

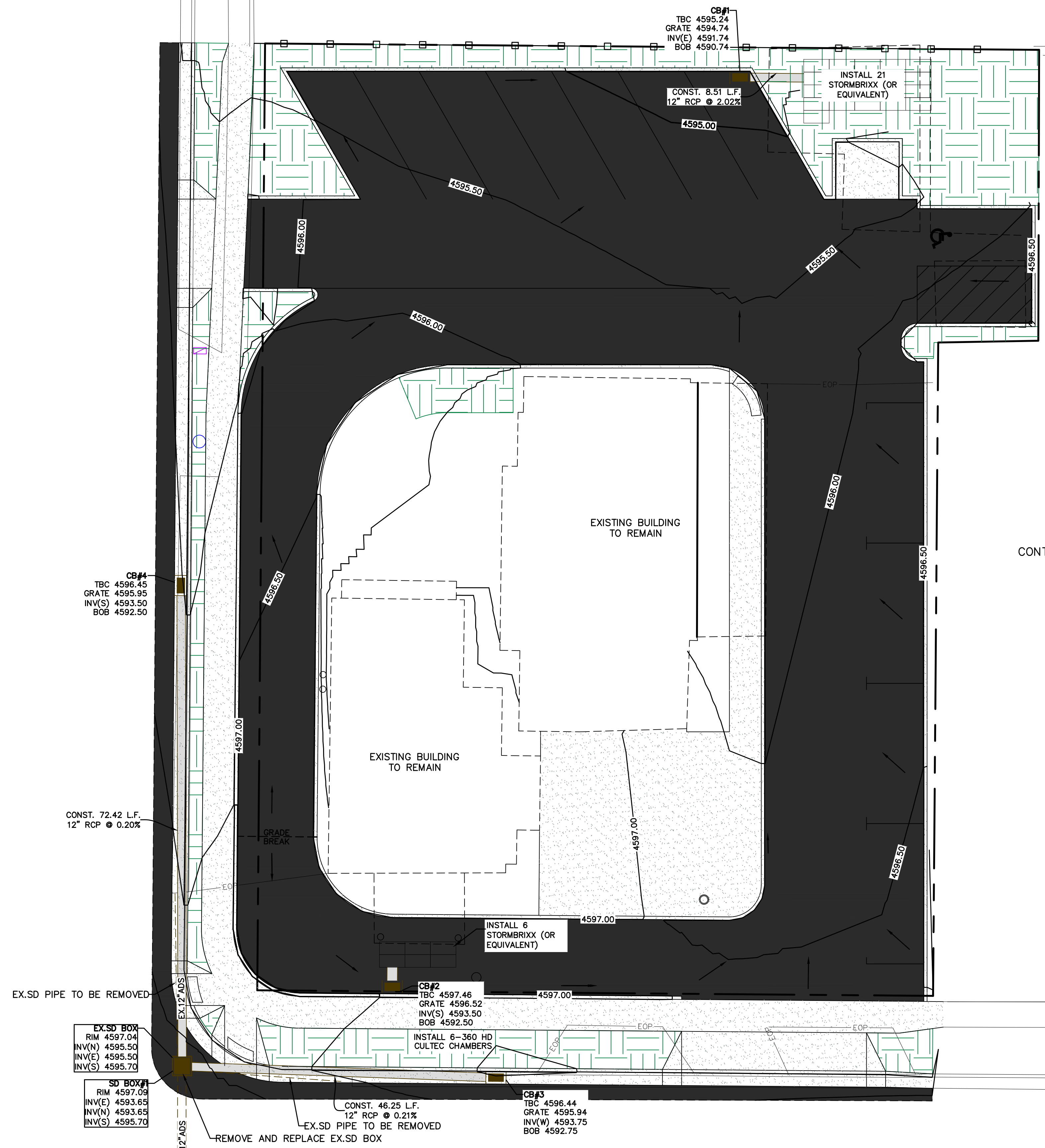
ATLAS ENGINEERING
 CIVIL · STRUCTURAL · SURVEY



PHONE: 801-555-6565
 945 E. BOON SITE A
 SPANISH FORK, UT 84601
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100 EAST

300 SOUTH



CONTOURS SHOWN AT 0.5' & 1.0' INTERVALS FOR CLARITY.

ALLPHIN, TREVOR W
07:013:0008

LEGEND

- EXISTING POWER POLE
- PROPOSED STREET LIGHT
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING STREET LIGHT
- EXISTING SIGN
- PROPOSED FIRE HYDRANT
- PROPOSED WATER VALVE
- PROPERTY BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY LINE
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- EXISTING OVER HEAD POWER
- EXISTING FENCE LINE
- EXISTING SANITARY SEWER W/MANHOLE
- EXISTING STORM DRAIN W/MH
- EXISTING WATER
- EXISTING PRESSURIZED IRRIGATION
- PROPOSED SEWER
- PROPOSED STORM DRAIN
- PROPOSED CULINARY WATER
- PROPOSED PRESSURIZED IRRIGATION (PURPLE PVC)
- LANDSCAPING AREA
- PROPOSED CONCRETE/SIDEWALK/CURB & GUTTER
- PROPOSED ASPHALT

SHEET NO.

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DRAINAGE PLAN

SPANISH FORK, UTAH

SIP'N TREATS & DRINKS

ATLAS ENGINEERING
CIVIL · STRUCTURAL · SURVEY

PHONE: 801-555-0566
945 E. BOON SUITE A
SPANISH FORK, UT 84601

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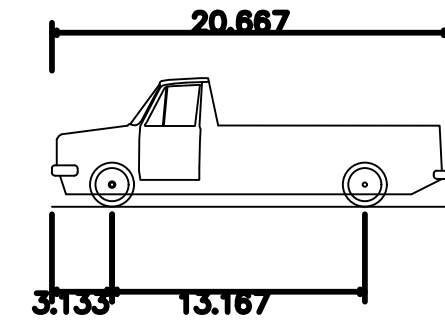
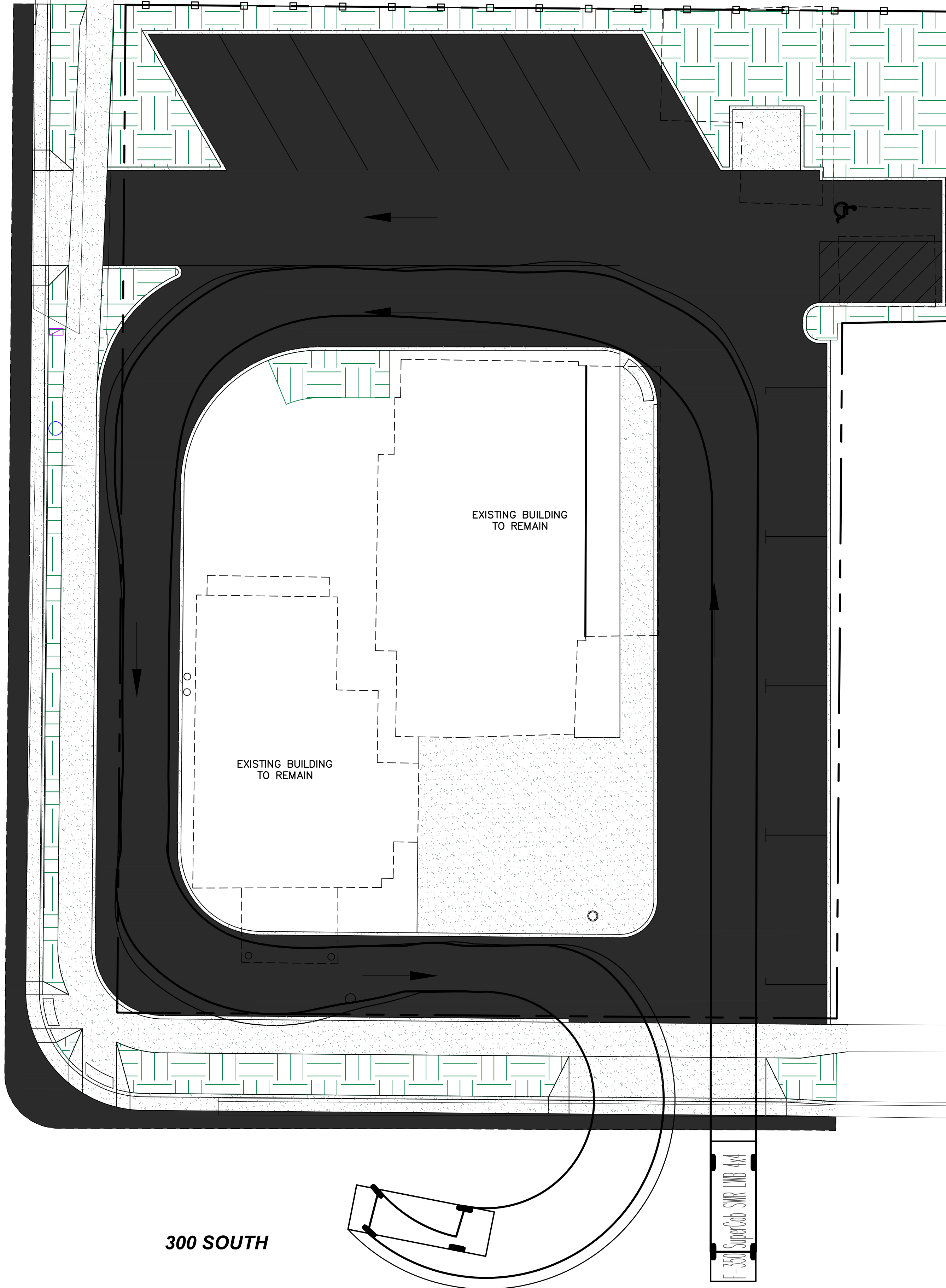
(24"x36")
SCALE 1" = 10'
(11"x17")
SCALE 1" = 20'

100 EAST

300 SOUTH

LAURITSEN, ADRIENNE
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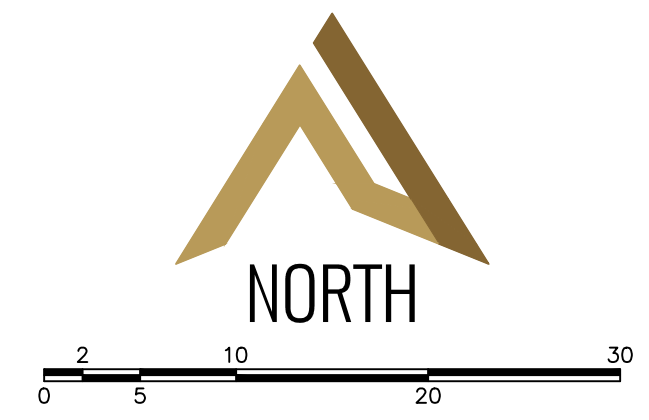
ALLPHIN, TREVOR W
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F-350 SuperCab SWR LWB 4x4
 Overall Length
 Overall Width
 Overall Body Height
 Min Body Ground Clearance
 Track Width
 Lock-to-lock time
 Curb to Curb Turning Radius

LEGEND

- EXISTING POWER POLE
- PROPOSED STREET LIGHT
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING STREET LIGHT
- EXISTING SIGN
- PROPOSED FIRE HYDRANT
- PROPOSED WATER VALVE
- PROPERTY BOUNDARY
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- RIGHT-OF-WAY LINE
- LOT LINE
- SECTION LINE
- EASEMENT
- EXISTING DEED LINE
- EDGE OF PAVEMENT
- EXISTING OVER HEAD POWER
- EXISTING FENCE LINE
- EXISTING SANITARY SEWER W/MANHOLE
- EXISTING STORM DRAIN W/MH
- EXISTING WATER
- EXISTING PRESSURIZED IRRIGATION
- PROPOSED SEWER
- PROPOSED STORM DRAIN
- PROPOSED CULINARY WATER
- PROPOSED PRESSURIZED IRRIGATION (PURPLE PVC)
- LANDSCAPING AREA
- PROPOSED CONCRETE/SIDEWALK/CURB & GUTTER
- PROPOSED ASPHALT



(24"x36")
 SCALE 1" = 10'
 (11"x17")
 SCALE 1" = 20'

SHEET NO.

7

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AUTO TURN EXHIBIT

SPANISH FORK, UTAH

SIP'N TREATS & DRINKS

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PHONE: 801-555-0566
 945 E. BOON, SUITE A
 SPANISH FORK, UT 84601

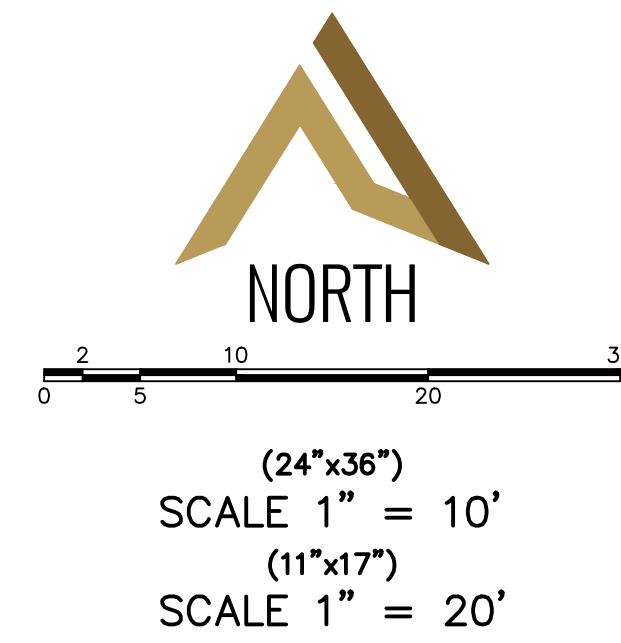



25' APART TYP.

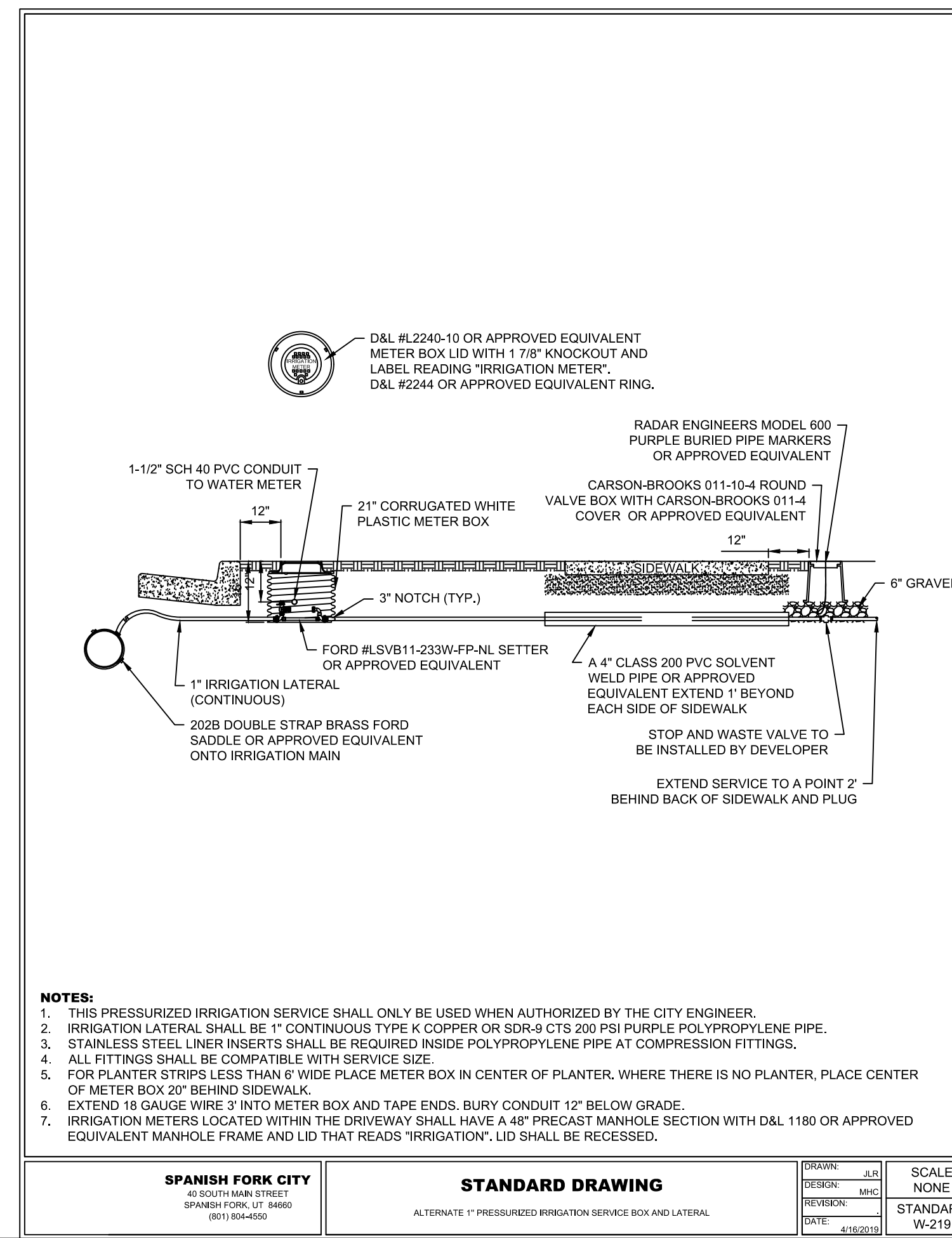
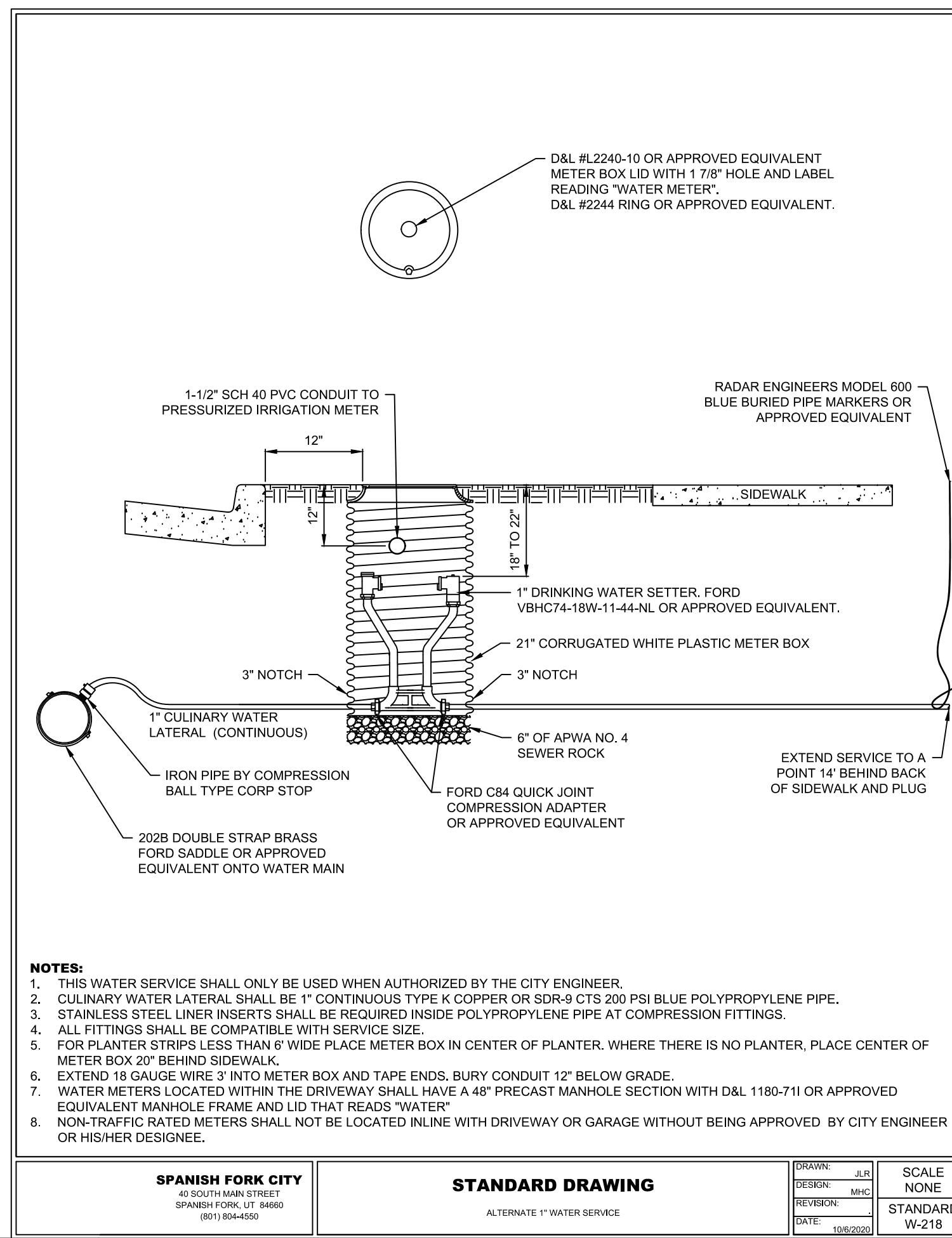
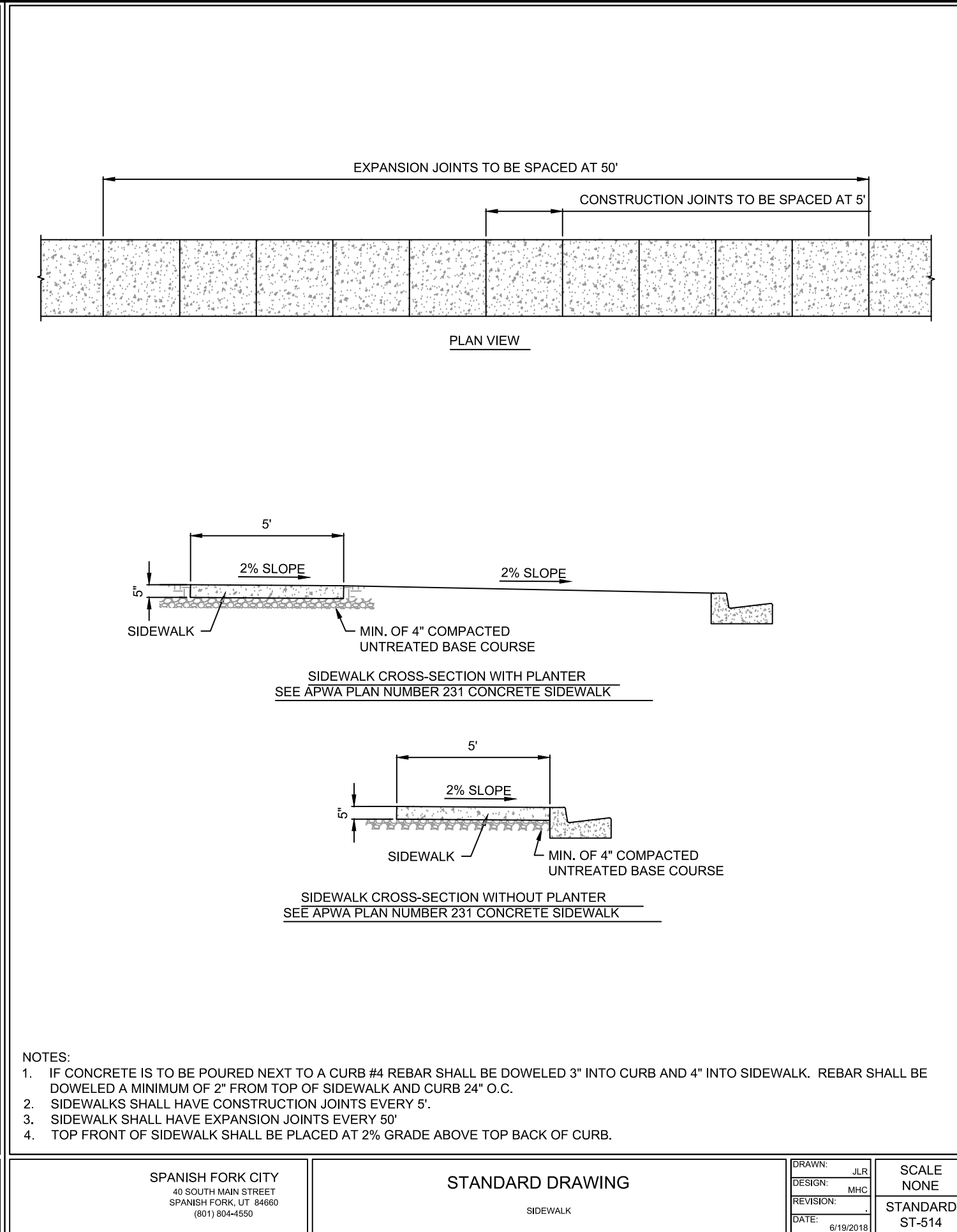
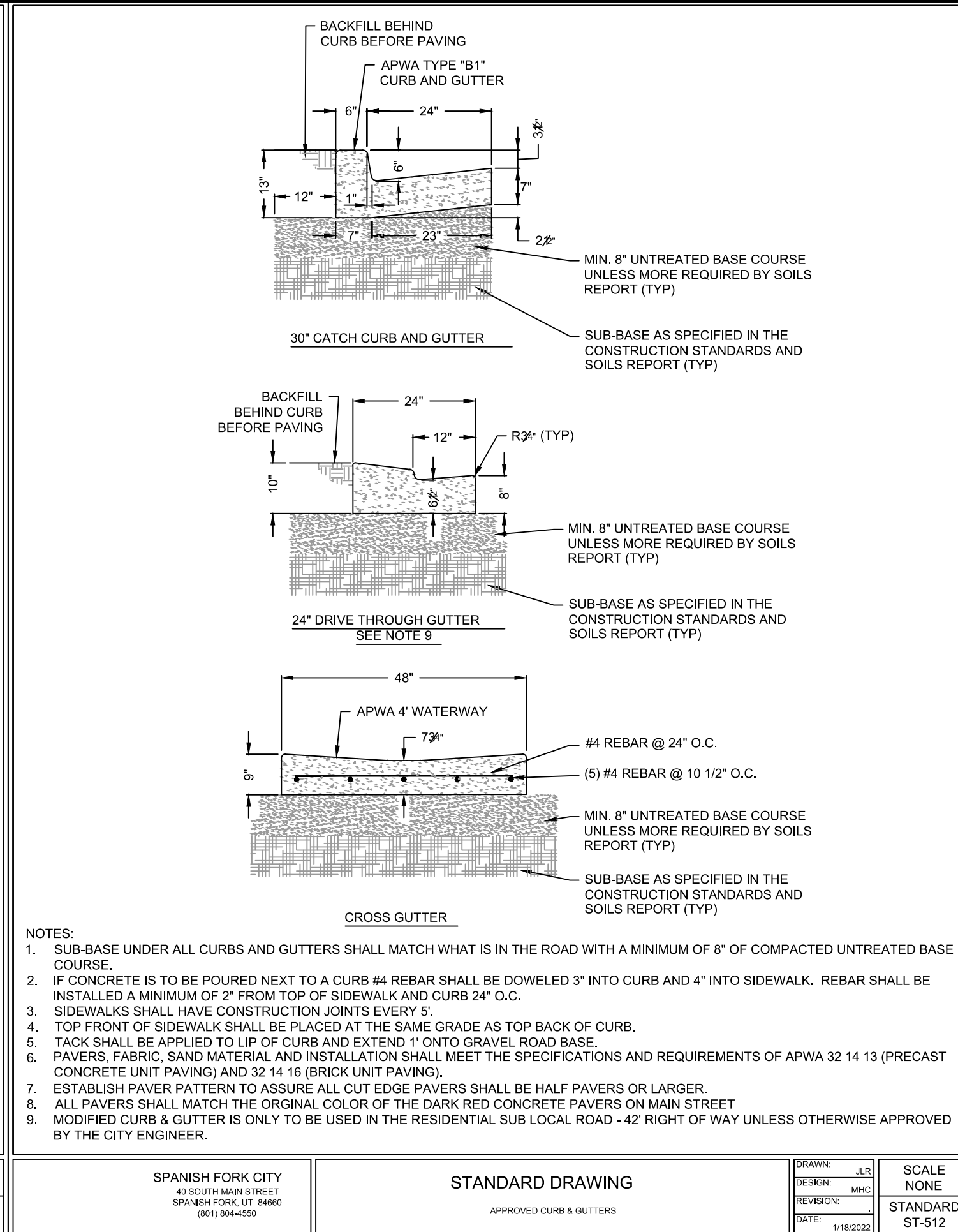
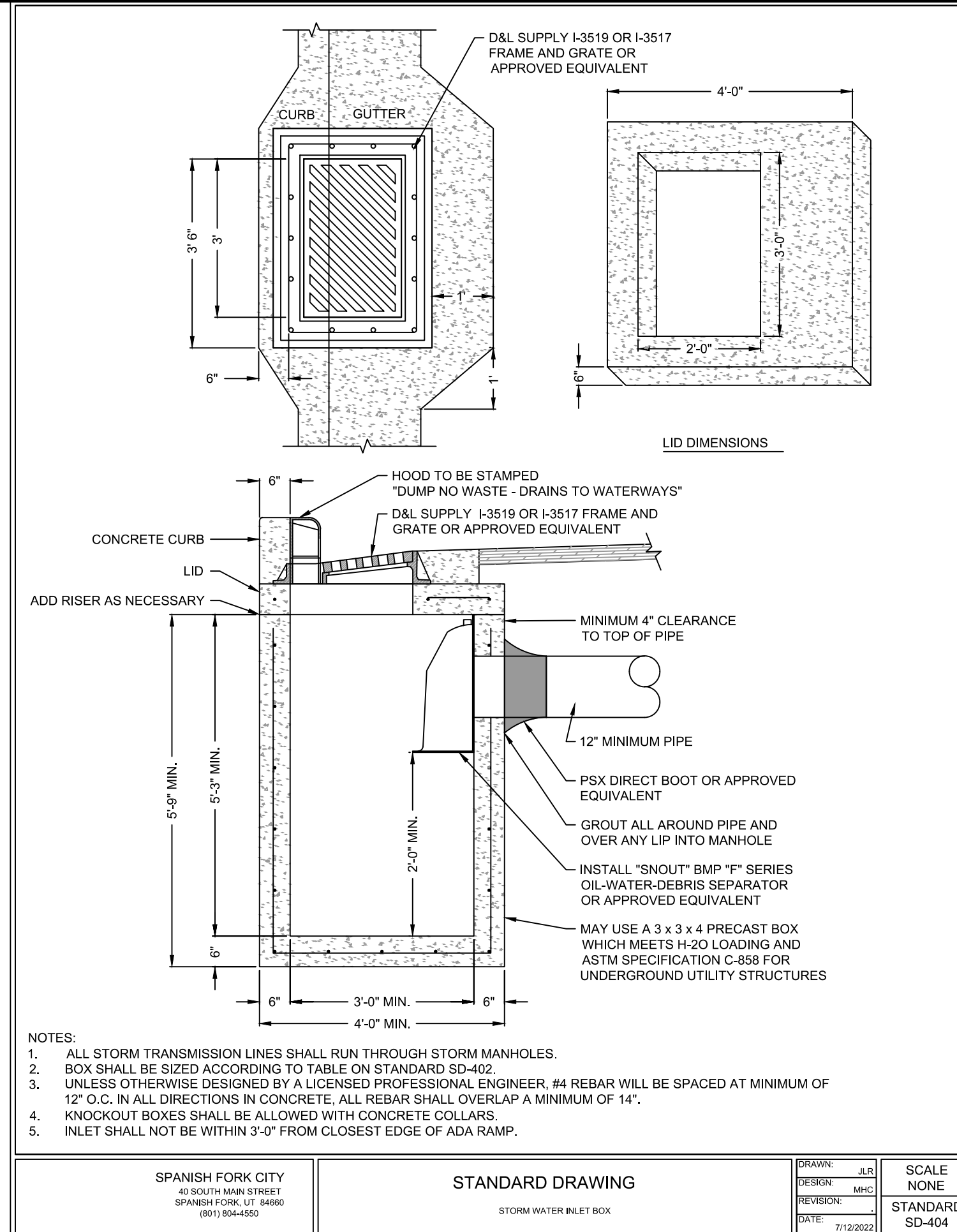


-  QTY: 4 – Boulder
-  QTY: 6 – Blue Oat Grass
-  QTY: 9 – Stella d'Oro Day Lillies
-  QTY: 2 – 2" Caliper Weeping White Spruce Tree
-  QTY: 3 – Red Double Knockout Rose
-  QTY: 18 – Karl Foerster Grass
-  QTY: 9 – Karley Rose Grass
-  QTY: 2 – 2" Caliper Eastern Redbud Tree
-  QTY: 7 – 2" Caliper Musashino Zelkova
-  1879 SF – LAWN
-  536 SF – DECORATIVE ROCKS
-  PROPOSED CONCRETE/SIDEWALK/CURB & GUTTER
-  PROPOSED ASPHALT

GENERAL NOTES:
IRRIGATION SLEEVES TO CONNECT LAWN AREA



SIP'N TREATS & DRINKS		LANDSCAPE PLAN	SHEET NO. 8																																																				
ATLAS ENGINEERING CIVIL · STRUCTURAL · SURVEY		SPANISH FORK, UTAH	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>REVISIONS</th> <th>BY</th> <th>DATE</th> </tr> </thead> <tbody> <tr><td>12</td><td></td><td></td><td></td></tr> <tr><td>11</td><td></td><td></td><td></td></tr> <tr><td>10</td><td></td><td></td><td></td></tr> <tr><td>9</td><td></td><td></td><td></td></tr> <tr><td>8</td><td></td><td></td><td></td></tr> <tr><td>7</td><td></td><td></td><td></td></tr> <tr><td>6</td><td></td><td></td><td></td></tr> <tr><td>5</td><td></td><td></td><td></td></tr> <tr><td>4</td><td></td><td></td><td></td></tr> <tr><td>3</td><td></td><td></td><td></td></tr> <tr><td>2</td><td></td><td></td><td></td></tr> <tr><td>1</td><td></td><td></td><td></td></tr> </tbody> </table>	NO.	REVISIONS	BY	DATE	12				11				10				9				8				7				6				5				4				3				2				1			
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SHEET NO. **DT-01**

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DETAIL SHEET

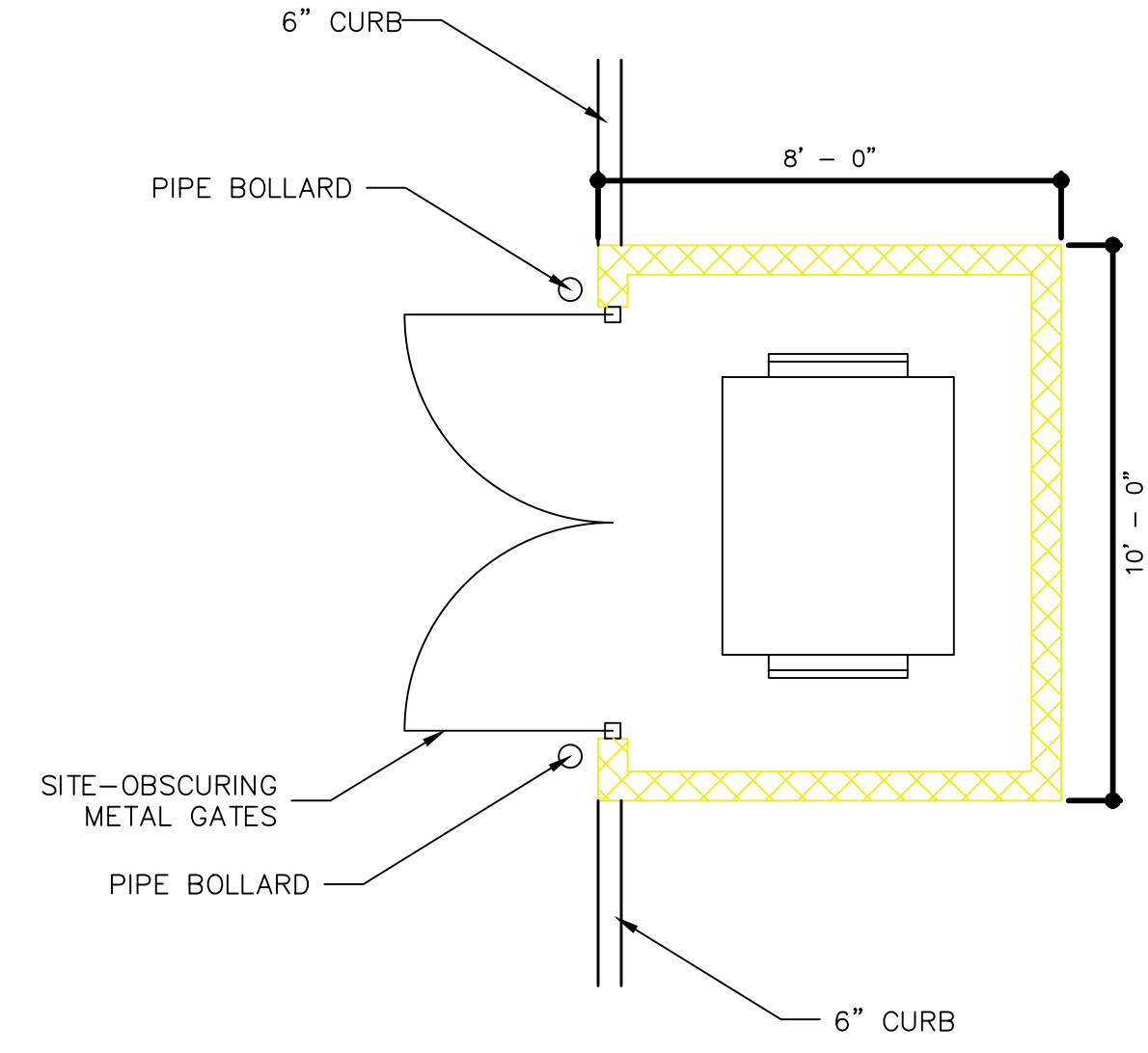
SPANISH FORK UTAH

SIP'N TREATS & DRINKS

ATLAS ENGINEERING
CIVIL · STRUCTURAL · SURVEY

PHONE: 801-455-4566
946 E. 800 N. SUITE A
SPANISH FORK, UT 84603

Z:\2023\23-064_SIPN_SPANISH_FORK\CADD\FINAL\DT-01.DWG



DUMPSTER ENCLOSURE
 SCREENED ON THREE (3) SIDES WITH A MASONRY WALL HAVING A HEIGHT OF AT LEAST ONE (1) FOOT ABOVE RECEPTACLE. A STEEL SITE-OBSCURING GATE AT LEAST SIX (6) FEET HIGH IS REQUIRED.

DETAIL SHEET

SPANISH FORK UTAH

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NO.	

REVISIONS

BY DATE

SHEET NO.

DT-02

NARRATIVE

1. THE PURPOSE OF THIS SURVEY IS TO SHOW THE RELATIONSHIP BETWEEN THE PHYSICAL POSSESSION & THE EXISTING DEEDS OF THE PROPERTY,. THE BOUNDARY OF THE REQUESTED PROPERTY SHOWN IS PROPOSED AND CORRECTIVE ACTION IS REQUIRED (BOUNDARY LINE AGREEMENT).
2. THE PROPERTY IS LOCATED IN THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 8 SOUTH, RANGE 3 EAST, SALT LAKE BASE AND MERIDIAN.
3. FOUND THE REFERENCE CORNER FOR THE SOUTHWEST SECTION CORNER, AND THE WEST QUARTER SECTION CORNER, FOR SAID SECTION 19.
4. THE BASIS OF BEARING IS SOUTH 00° 10' 21" EAST BETWEEN THE WEST QUARTER SECTION CORNER AND THE SOUTHWEST SECTION CORNER OF SAID SECTION 19.
5. NO REBAR AND CAP WERE FOUND. SET PROPERTY MARKERS, AS SHOWN HEREON. IF CORNER FALLS IN CONCRETE OR FENCE CORNER NOTHING WAS SET.

PROPERTY DESCRIPTION

BEGINNING AT THE SOUTHWEST CORNER OF BLOCK 13, PLAT A, SPANISH FORK CITY SURVEY, SAID POINT LOCATED SOUTH 00° 10' 21" EAST 601.27 FEET ALONG THE SECTION LINE, AND EAST 475.34 FEET FROM THE WEST QUARTER CORNER SECTION 19, TOWNSHIP 8 SOUTH, RANGE 3 EAST, SALT LAKE BASE & MERIDIAN; THENCE NORTH 00° 28' 24" EAST 148.50 FEET; THENCE SOUTH 89° 31' 36" EAST 121.41 FEET; THENCE SOUTH 00° 09' 17" WEST 45.62 FEET; THENCE SOUTH 89° 01' 00" WEST 15.70 FEET; THENCE SOUTH 00° 27' 14" WEST 102.48 FEET; THENCE NORTH 89° 31' 36" WEST 106.00 FEET TO THE POINT OF BEGINNING.

AREA= 16,451 SQ. FEET, OR 0.3777 ACRES, MORE OR LESS

CERTIFICATION

I, DAVID F. HUNT, HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH; THAT THIS MAP CORRECTLY REPRESENTS A BOUNDARY SURVEY MADE UNDER MY SUPERVISION DURING THE MONTH OF MAY, 2023; THAT THE SURVEY IS TRUE AND CORRECT AS SHOWN; THAT THE PROPERTY BOUNDARY SHOWN & DESCRIBED HEREON IS CORRECT AND CAN BE RETRACED.



SOUTHWEST CORNER SECTION 19
T. 8S., R. 3E., SLB&M
(FOUND UTAH COUNTY BRASS CAP)

WEST 1/4 CORNER SECTION 19
T. 8S., R. 3E., SLB&M
(FOUND UTAH COUNTY BRASS CAP)

S 00° 10' 21" E
2666.06
(BASIS OF BEARING)

24 19
25 30

100 EAST STREET

300 SOUTH STREET

- LEGEND
- SET SUBDIVISION MONUMENT
 - FOUND BRASS CAP
 - SET 5/8" IRON PIN
 - CALCULATED POINT, NOT SET
 - PROPERTY BOUNDARY
 - SECTION LINE
 - EXISTING DEED LINE
 - EDGE OF PAVEMENT
 - EXISTING FENCE LINE



(24"x36")
SCALE 1" = 20'
(11"x17")
SCALE 1" = 40'

SHEET NO. **R.O.S.**

NO.	REVISIONS	BY	DATE
12			
11			
10			
9			
8			
7			
6			
5			
4			
3			
2			
1			

RECORD OF SURVEY

SPANISH FORK, UTAH

SIPN PROPERTY
ATLAS ENGINEERING
CIVIL · STRUCTURAL · SURVEY

PHONE: 801-655-0586
596 E. 800 N. SUITE 104
SPANISH FORK, UT 84680

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