



INDUSTRIAL PREMISES

Preliminary Particulars

TO LET



Key Benefits

- 7.75m eaves rising to 8.6m
- 3 phase power
- 3 full height 5.5m loading doors
- LED lighting throughout
- Ample parking and loading in a secure gated yard
- Security patrolled estate
- High quality air conditioned offices

DETACHED WAREHOUSE / INDUSTRIAL UNIT WITH A SECURE YARD
TO BE EXTENSIVELY REFURBISHED

UNIT A THAMES VIEW BUSINESS CENTRE, FAIRVIEW
INDUSTRIAL PARK, RAINHAM, ESSEX RM13 8BT

31,410 sq ft (2,918.1 sq m)

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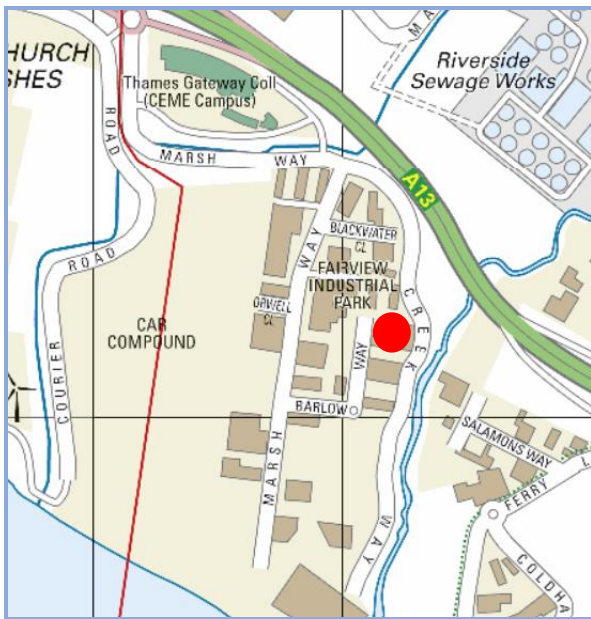
Agency | Investment | Development | Lease Advisory | Dilapidations | Business Rates



UNIT A THAMES VIEW BUSINESS CENTRE, FAIRVIEW INDUSTRIAL PARK, RAINHAM, ESSEX RM13 8BT

LOCATION

Thames View Business Centre is situated in the Thames Gateway, just off Barlow Way, on the popular Fairview Industrial Park to the south of the A13, which directly links the M25 to Central London. The estate is well located for easy access to Thurrock, Dagenham and Barking.



DESCRIPTION

The property comprises a detached steel portal frame warehouse. The warehouse benefits from 3 full height (5.5m) loading doors and has an eaves height of 7.75m rising to 8.6m at the ridge. High quality air conditioned offices are provided at first floor level with lift access.

Externally there is a good sized secure yard to the side of the property providing ample parking and loading provision. To the front is a separate car park.

EPC

Energy Performance Asset Rating - TBC

ACCOMMODATION

The property comprises the following approximate gross external areas:-

	FT ²	M ²
Warehouse /		
Production / Ancillary	25,304	2,350.8
GF Offices	4,022	373.7
1F Offices	2,084	193.6
TOTAL	31,410	2,918.1

TERMS

The unit is available on a new full repairing and insuring lease on terms which are to be agreed

RENT

£345,500 per annum.

RATES

We understand that the Rateable Value with effect from 1st April 2017 is £177,000. However interested parties must verify with the LB of Havering (01708 432288).

SERVICE CHARGE

A service charge is payable for the maintenance of the common parts of the estate and 24 hour security on the Fairview Estate. Further details available upon request.

VAT

All rents etc are subject to VAT at the prevailing rate.

LEGAL COSTS

Each party to bear their own legal costs.

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Chartered Surveyors