

**BUILDING WARRANT**

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sign.....**CASA**.....  
 date.....**06/05/2016**.....

Revision:

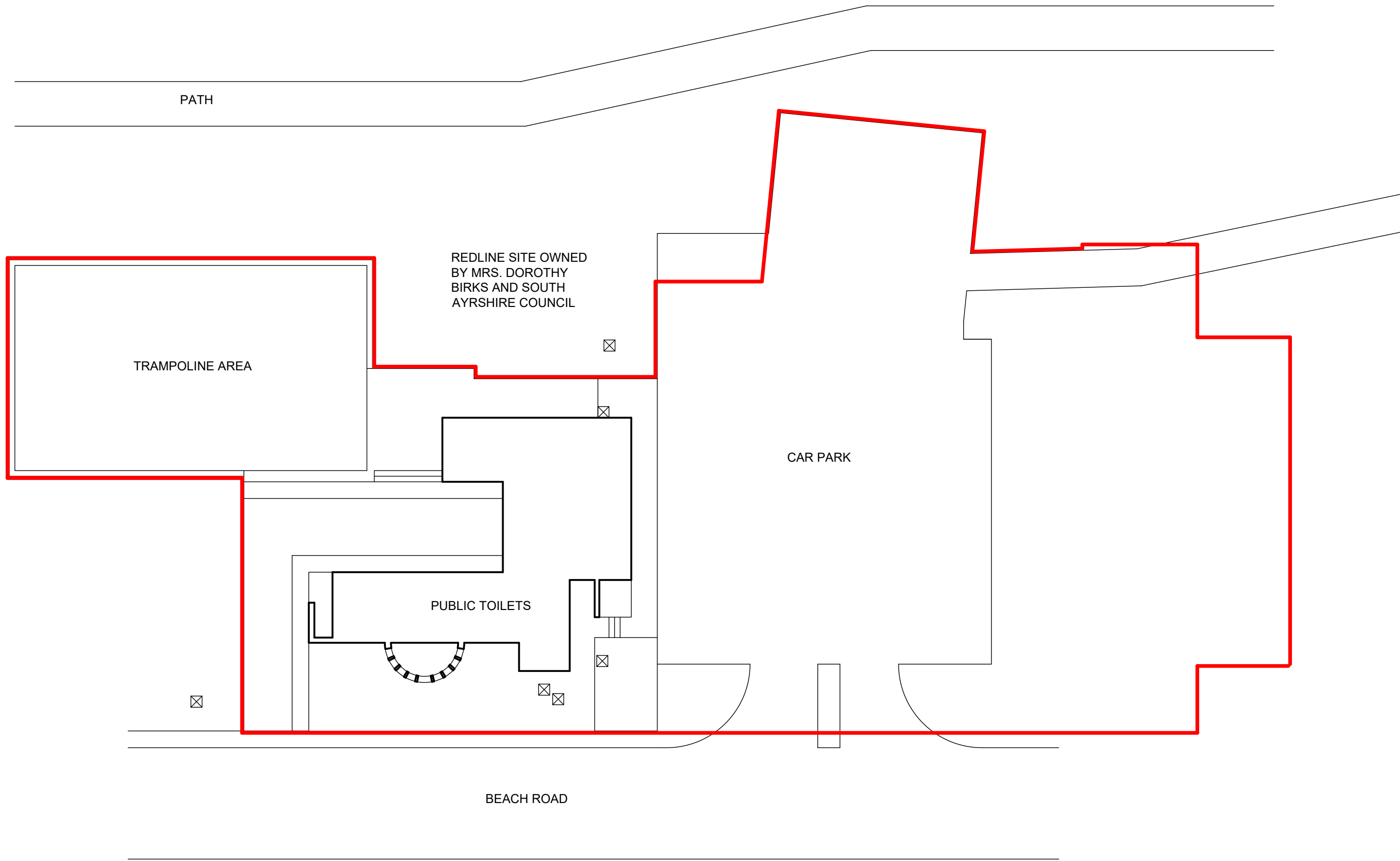
Project:  
 PROPOSED RESTAURANT  
 BEACH ROAD  
 NORTH SHORE, BARASSIE  
 Client:  
 MRS. D. BIRKS

Drawing:  
 TOPOGRAPHIC SURVEY

Drawing No: **546/02**      Scale: 1:200      Date: MAY 2016



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EXISTING SITE PLAN

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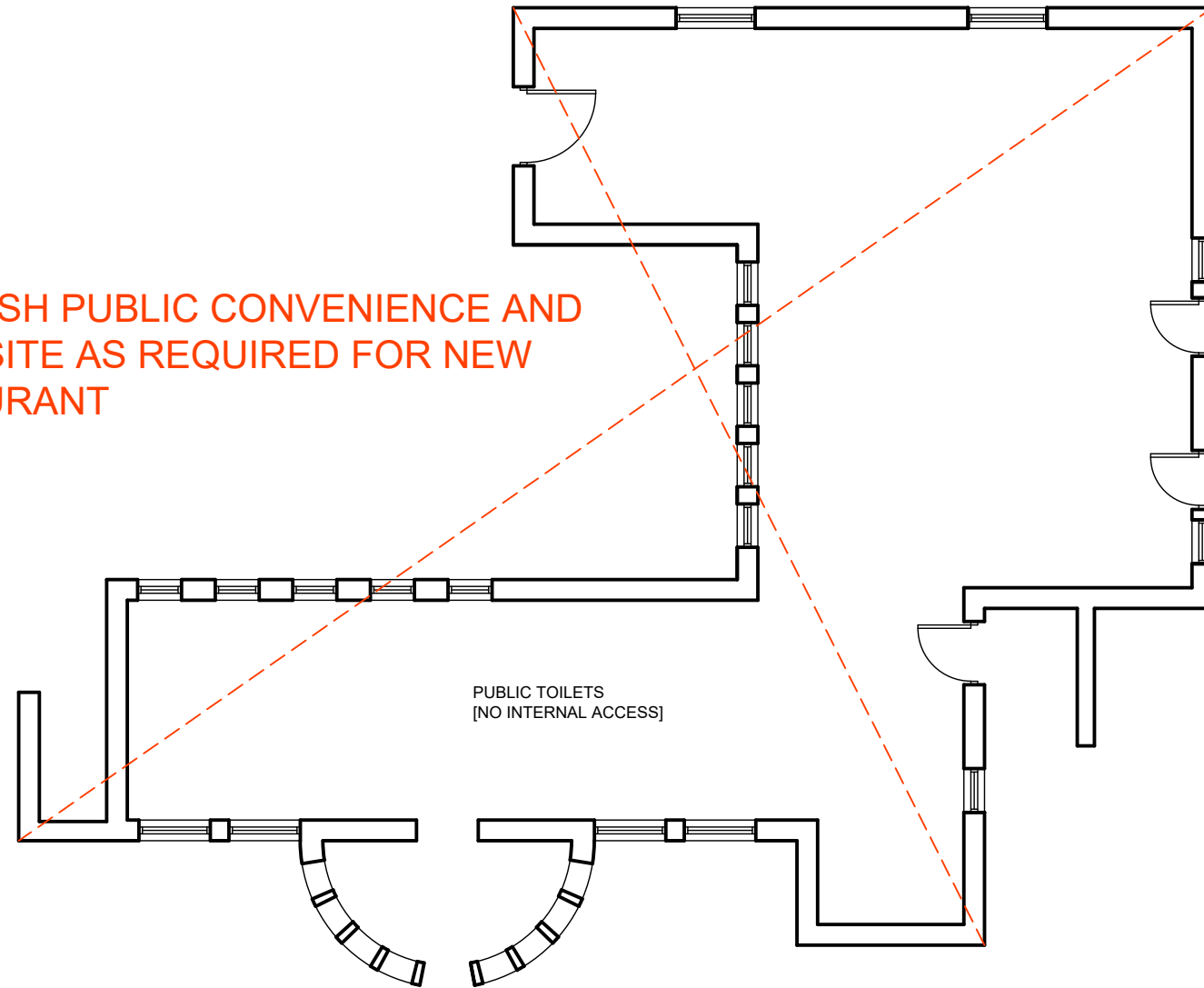
Revision:

Project:  
**PROPOSED RESTAURANT  
 BEACH ROAD  
 NORTH SHORE, BARASSIE**  
 Client:  
**MRS. D. BIRKS**

Drawing:  
**EXISTING SITE PLAN**  
 Drawing No: **546/03**  
 Scale: **1:200**  
 Date: **MAY 2016**

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DEMOLISH PUBLIC CONVENIENCE AND  
LEVEL SITE AS REQUIRED FOR NEW  
RESTAURANT



**SPECIFICATION:**

**EXISTING BUILDING:**

ALL DEMOLITION WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE FOLLOWING:  
B.S.C.P.: 6187: 1982.  
H.S.E. GUIDANCE NOTE GS29 PARTS 1 TO 4.  
THE BUILDING (OPERATIONS) (SCOTLAND) REGULATIONS 1976.  
THE HEALTH AND SAFETY AT WORK ACT.  
CONTROL OF POLLUTION AC PART 111 AND BS 5228: 1975.

EXISTING SERVICES ARE TO BE ADEQUATELY PROTECTED DURING DEMOLITION WORKS.

CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS PRIOR TO COMMENCEMENT ON SITE.

ANY ASBESTOS IS TO BE REMOVED BY SPECIALIST LICENSED CONTRACTOR PRIOR TO DEMOLITION WORKS COMMENCING (IF APPLICABLE).

ANY ASBESTOS WILL BE DEPOSITED IN A LICENSED COUP AND THE NECESSARY CONSIGNMENT NOTES ISSUED.

CONTRACTOR TO PROVIDE ALL NECESSARY HOARDING.

CONTRACTOR IS TO PROVIDE ALL NECESSARY SCAFFOLDING TO CARRY OUT THE WORKS IN ACCORDANCE WITH BS 1139 AND B.C.P.97.

CONTRACTOR TO ALLOW FOR TEMPORARY SHORING TO EXISTING WALLS DURING DOWNTAKINGS. TEMPORARY SHORING TO BE DESIGNED TO RELEVANT CODES OF PRACTICE. FULL SUPPORTING CALCULATIONS AND DRAWINGS ARE REQUIRED FOR SUCH TEMPORARY SHORING.

CONTRACTOR TO PROVIDE METHOD STATEMENT FOR CARRYING OUT THE WORKS SHOWING DETAILS OF SCAFFOLDING, PROTECTIVE SCREENS ETC. AND THE STRUCTURAL BRACING (IF NECESSARY) AND MEANS OF DISPOSAL.

THE DISPOSAL OF MATERIALS AND RUBBISH BY BURNING ON SITE WILL NOT BE PERMITTED UNDER ANY CIRCUMSTANCES. NO FIRES WILL BE PERMITTED ON SITE AT ANY TIME.

DEMOLITION WORKS WITHIN THE PROPERTY IS TO BE CARRIED OUT IN SUCH A MANNER AS TO CAUSE AS LITTLE INCONVENIENCE TO ADJOINING PROPERTY OWNERS AND/OR THE PUBLIC AS POSSIBLE. IN ADDITION ALL NECESSARY STEPS SHALL BE TAKEN TO PROTECT ADJOINING PROPERTY, PUBLIC HIGHWAYS etc. FROM DISTURBANCE BY DEBRIS OR BY DUST DURING THE DEMOLITION WORKS.

NO WALL OR PART OF THE STRUCTURE SHALL BE LEFT IN A DANGEROUS OR INSECURE STATE AT ANY TIME.

CONTRACTOR TO LOCATE AND PROTECT EXISTING ELECTRICS AND ENSURE EXISTING SUPPLY HAS ADEQUATE CAPACITY FOR PROPOSED RESTAURANT

CONTRACTOR TO INSPECT EXISTING DRAINAGE AND ENSURE EXISTING BOILER HAS ADEQUATE CAPACITY FOR PROPOSED RESTAURANT

CONTRACTOR TO ENSURE SITE IS SECURE AT ALL TIMES AND ENSURE THE PROPERTY IS LEFT SAFE AT END OF WORKING DAY.

EXISTING HARD AND SOFT LANDSCAPING (IF DAMAGED DURING CONSTRUCTION WORKS) IS TO BE MADE GOOD TO THE SATISFACTION OF THE CLIENT

**BUILDING  
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date.....06/05/2016.....

Revision:

Project:  
PROPOSED RESTAURANT  
BEACH ROAD  
NORTH SHORE, BARASSIE

Client:  
MRS. D. BIRKS

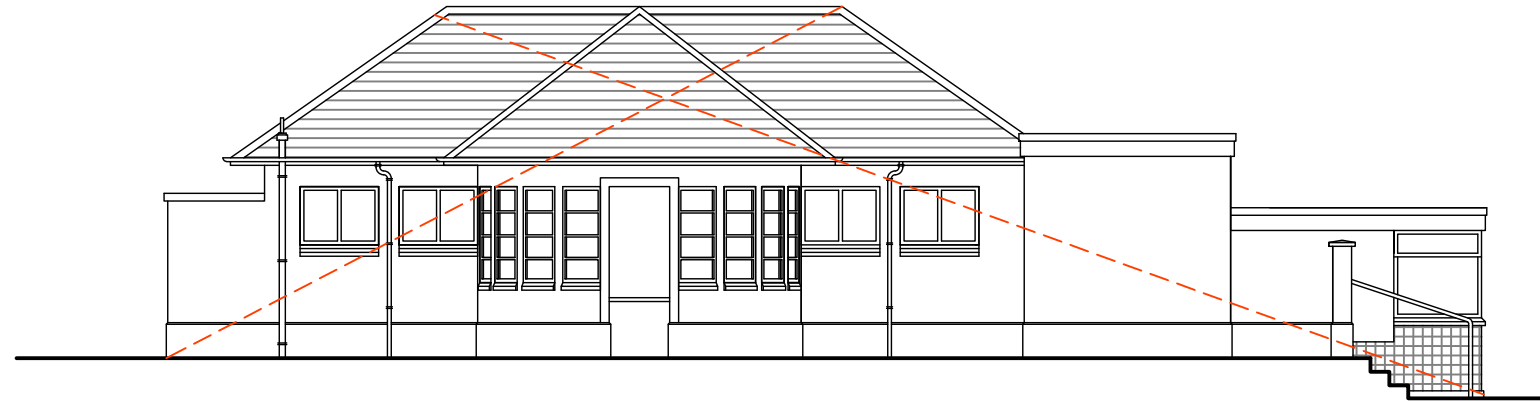
Drawing:  
EXISTING FLOOR PLAN

Drawing No:  
546/04

Scale Date  
1:100 MAY 2016

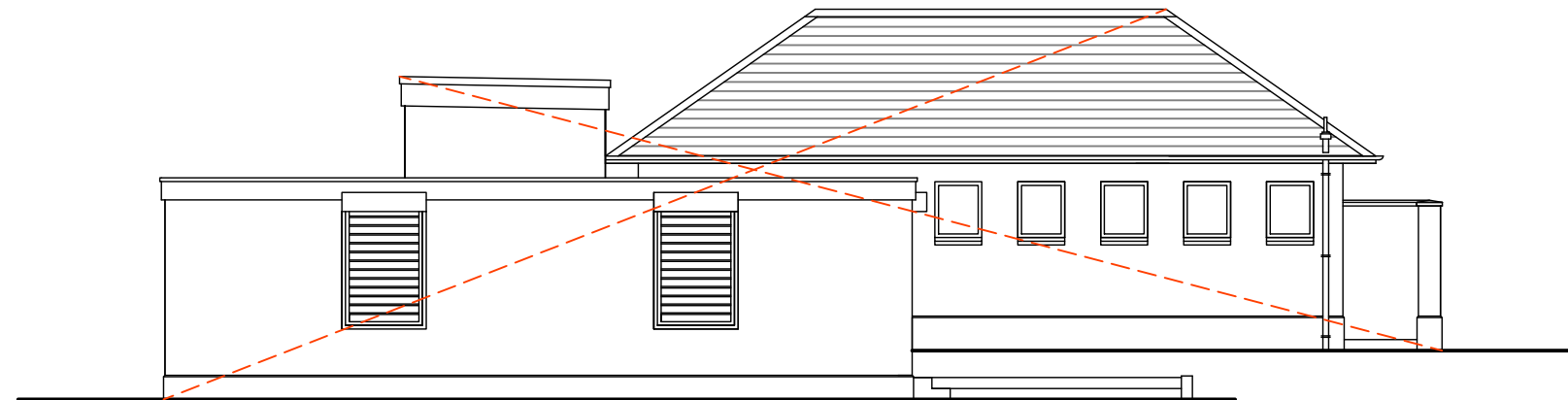


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EXISTING ROAD ELEVATION

DEMOLISH PUBLIC CONVENIENCE AND  
LEVEL SITE AS REQUIRED FOR NEW  
RESTAURANT



EXISTING REAR ELEVATION

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sign.....CASA.....  
date.....06/05/2016.....

Revision:

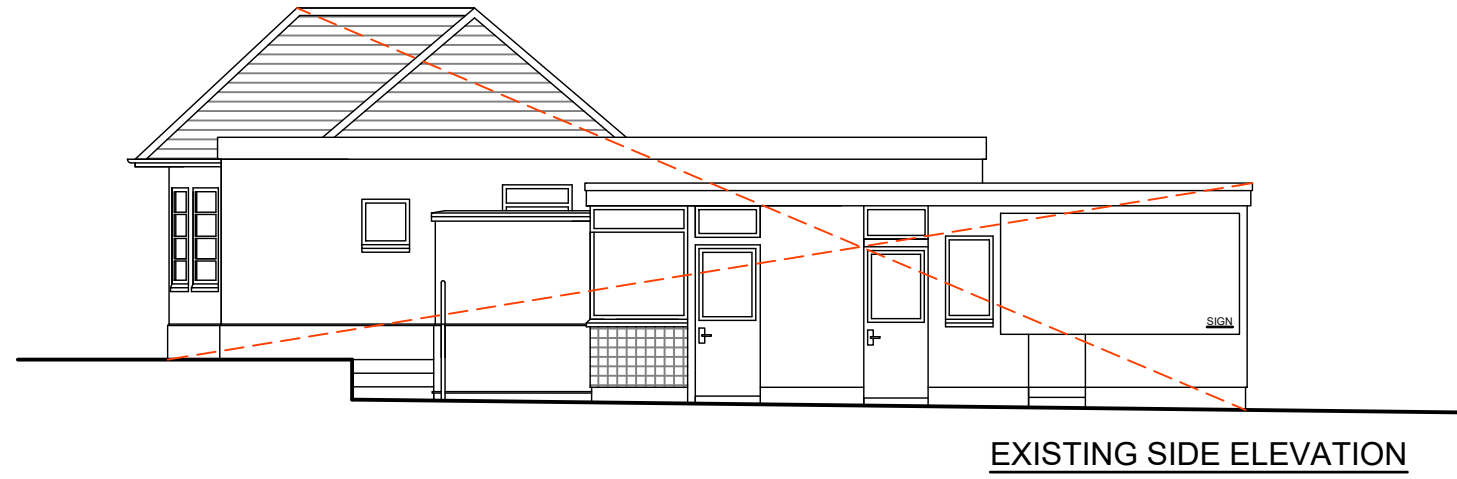
Project:  
PROPOSED RESTAURANT  
BEACH ROAD  
NORTH SHORE, BARASSIE  
Client:  
MRS. D. BIRKS

Drawing:  
EXISTING FRONT AND REAR ELEVATIONS

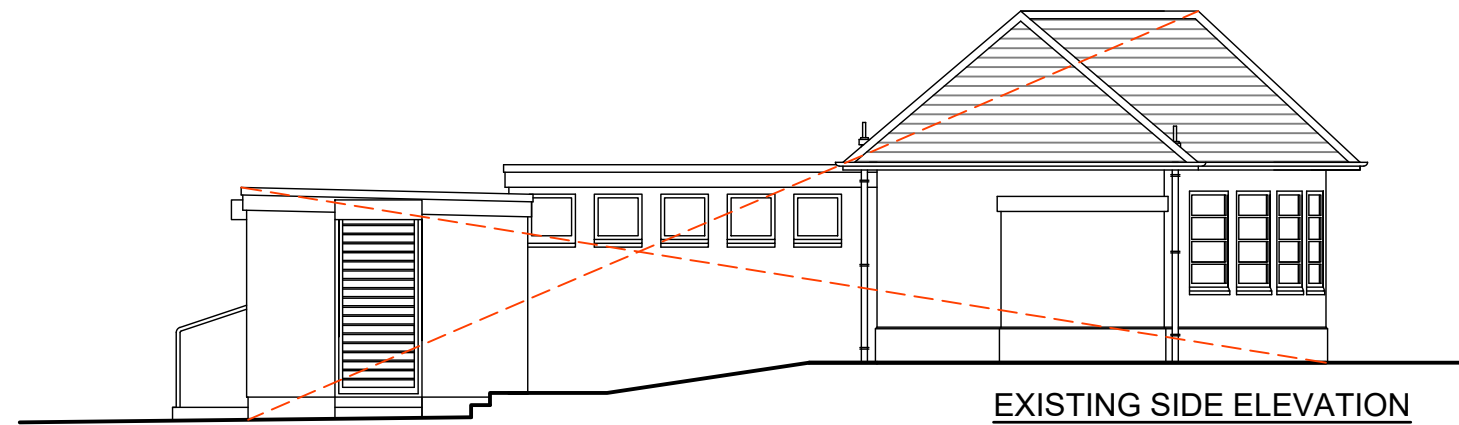
Drawing No: 546/05  
Scale: 1:100  
Date: APRIL 2014



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**DEMOLISH PUBLIC CONVENIENCE AND  
LEVEL SITE AS REQUIRED FOR NEW  
RESTAURANT**



<p><b>BUILDING WARRANT</b></p> <p><small>This drawing is for information purposes only Do not scale from this drawing, use figured dimensions only Dimensions to be checked on site prior to works commencing Discrepancies to be reported to CASA Design This drawing is the property of CASA Design The design contained therein is copyrighted to CASA Design No copying is permitted without authorisation from CASA Design</small></p>	<p>This is a true copy of the drawings referred to in the application:</p> <p>sign..... <b>CASA</b> .....</p> <p>date..... <b>06/05/2016</b> .....</p>	<p>Revision:</p>	<p>Project: PROPOSED RESTAURANT BEACH ROAD NORTH SHORE, BARASSIE</p> <p>Client: MRS. D. BIRKS</p>	<p>Drawing: EXISTING SIDE ELEVATIONS</p> <p>Drawing No: <b>546/06</b></p>	<p>Scale      Date</p> <p>1:100      MAY 2016</p>	 <p><b>CASA</b> DESIGN ARCHITECTS</p> <p><small>The Studio 14A Beresford Terrace Ayr KA7 2EG t. 01292 293949      www.casadesign.co.uk</small></p>
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PATH

REDLINE SITE OWNED BY MRS. DOROTHY BIRKS AND SOUTH AYRSHIRE COUNCIL

'Corduroy' tactile paving required at top and bottom landing at least 400mm from stair edge for full width. 1500 x 1500mm top landing. External steps max rise 170mm, min tread 250mm all to be uniform. Allow for tanking where platt meets building

PROPOSED SITE PLAN

1200MM WIDE LEVEL PATH TO BE LAID WITH SLABS TO GRASS TO ALLOW SAFE MEANS OF ESCAPE IN THE EVENT OF A FIRE

SANITARY PROVISION: 1 MALE & 1 FEMALE STAFF TOILET

UP TO 140 COVERS 70 FEMALE - 4 WC & 4 WHB 70 MALE - 1 WC, 2 URINALS & 3 WHB

NOTE: CONTRASTING NOSINGS TO ALL STEPS INTERNAL AND EXTERNAL.

1500 X 1500MM LEVEL ENTRANCE PLATT

Level accessible route from car park Max 1:50 fall. Tactile surface provide at dropped kerb. Firm uniform surface elsewhere. Min. 1.8 wide and max 45m long

CAR PARK

3 no. disabled bays 2400 x 4800 with 1200mm surround and with disabled symbol as shown. Allow for dropped kerb to an accessible route

CAR PARK - INDICATIVE LAYOUT [140 sq m public area = 28 spaces required of which 2 are disabled]

CAR PARK

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sign CASA date 06/05/2016

Revision:

A - 30/01/17 - Refuge bin area added [Env.Health] Accessible route added, Disabled space notes added [B. Standards] B - 14/08/18 - Contrasting stair nosings note added and accessible routes and warning surfaces at landings added [B. Standards]

Project: PROPOSED RESTAURANT BEACH ROAD NORTH SHORE, BARASSIE Client: MRS. D. BIRKS

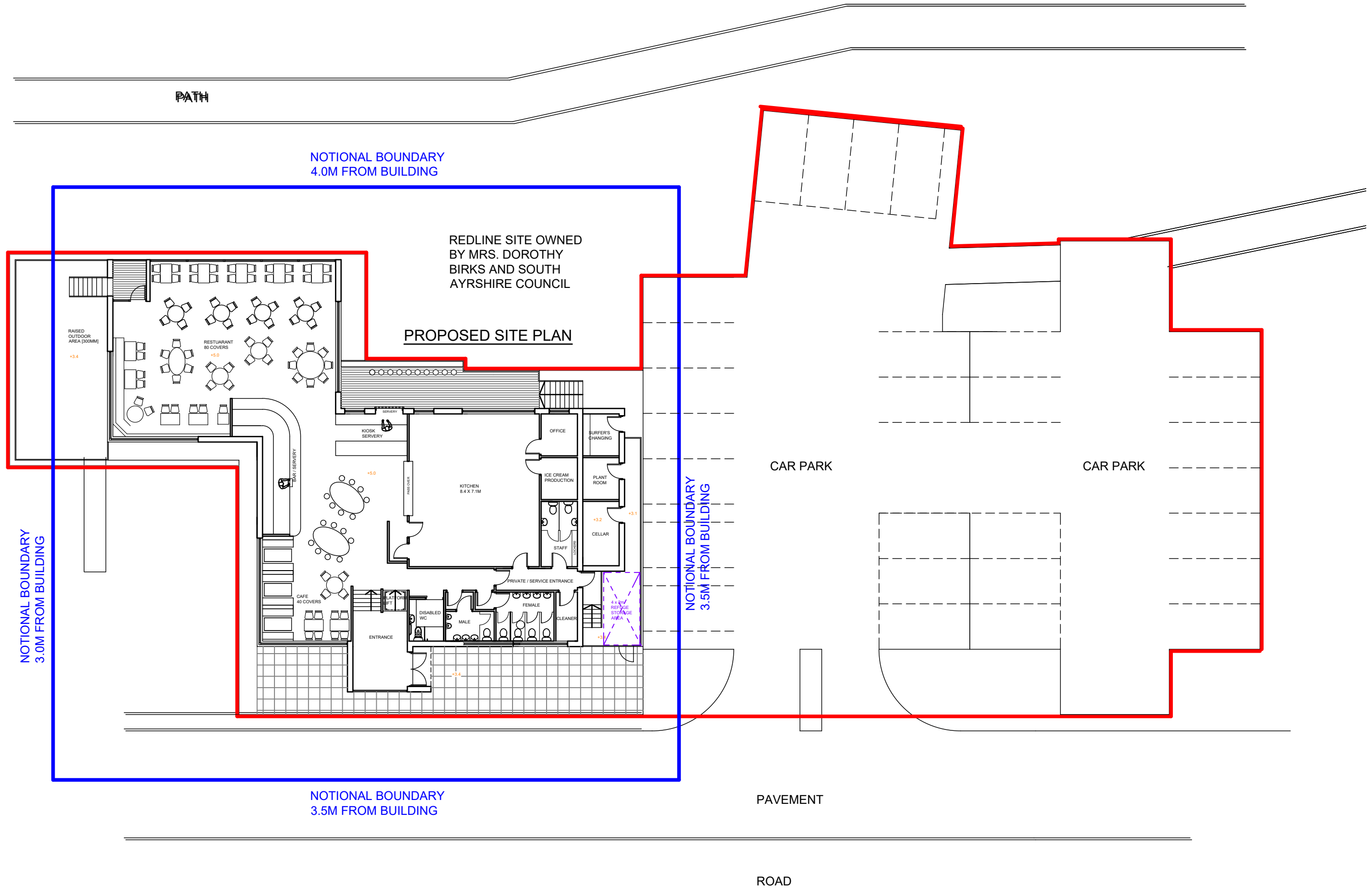
Drawing: PROPOSED SITE PLAN

Drawing No: 546/07B

Scale 1:200 Date MAY 2014



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 sign CASA  
 date 06/05/2016

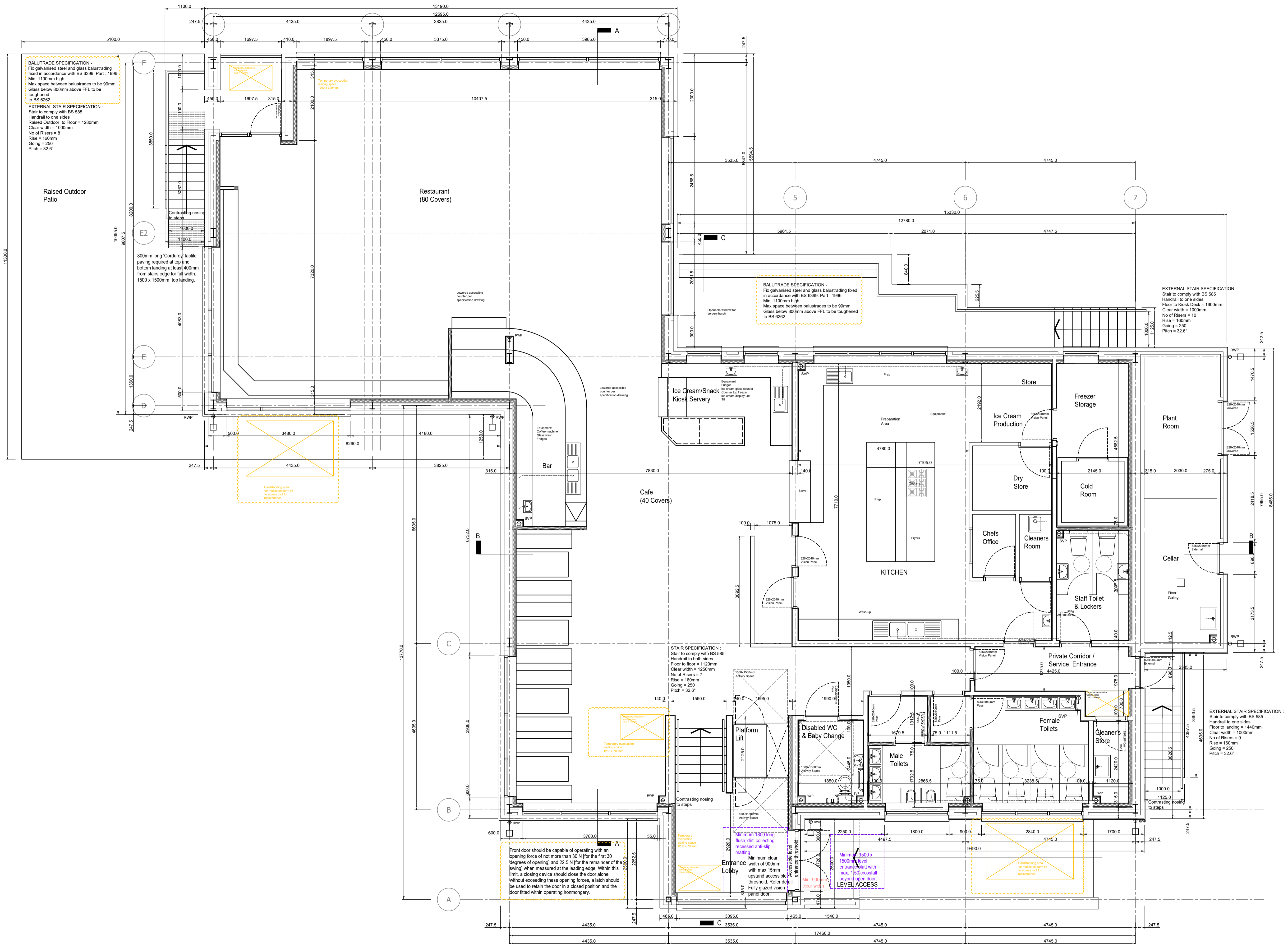
Revision:  
 A - 30/10/17 - Notional Boundary shown [B. Standards]  
 B - 14/08/18 - Notional Boundary altered, warning surfaces added at all external steps [B. Standards]

Project:  
 PROPOSED RESTAURANT  
 BEACH ROAD  
 NORTH SHORE, BARASSIE  
 Client:  
 MRS. D. BIRKS

Drawing:  
 PROPOSED SITE PLAN  
 NOTIONAL SITE BOUNDARIES  
 Drawing No: **546/08B**  
 Scale: 1:200  
 Date: OCT 2017

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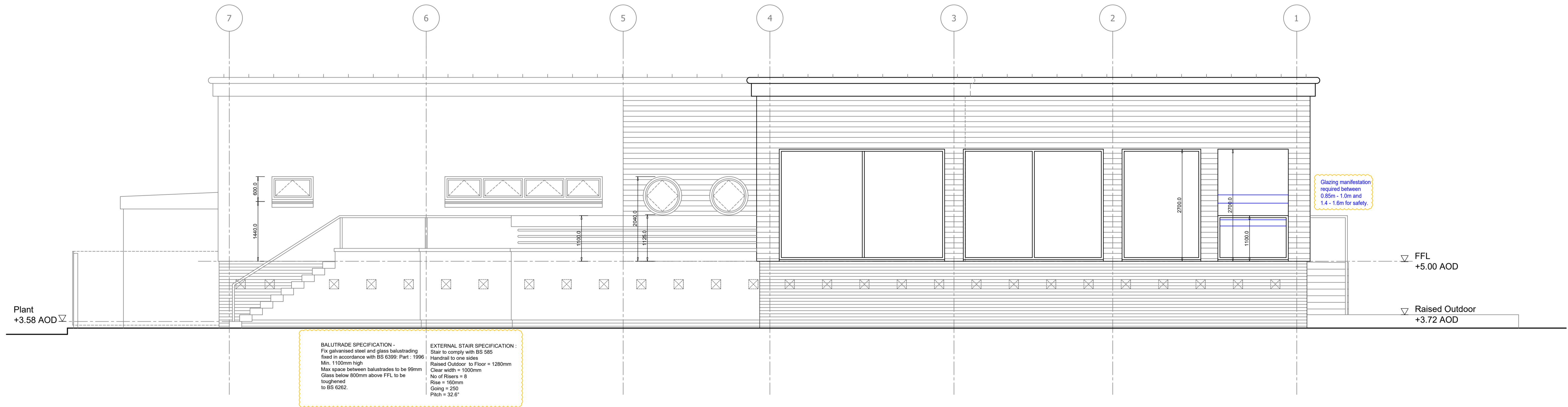
This is a true copy of the drawings referred to in the application:  
 sign.....  
 date.....

Revision:  
 A - 30/10/17 - Temporary evacuation waiting spaces added, additional staff toilet added, front door and lobby notes added, Lowered fixed counter notes added, contrasting nosings note added, balustrading spec added, roof access notes added [B. Standards]

Project:  
**PROPOSED RESTAURANT  
 BEACH ROAD  
 NORTH SHORE BRASSIE**  
 Client:  
**MRS D BIRKS**

Drawing:  
**PROPOSED GROUND FLOOR PLAN**  
 Drawing No:  
**546 / 102A**  
 Scale: 1:50  
 Date: FEB 2016

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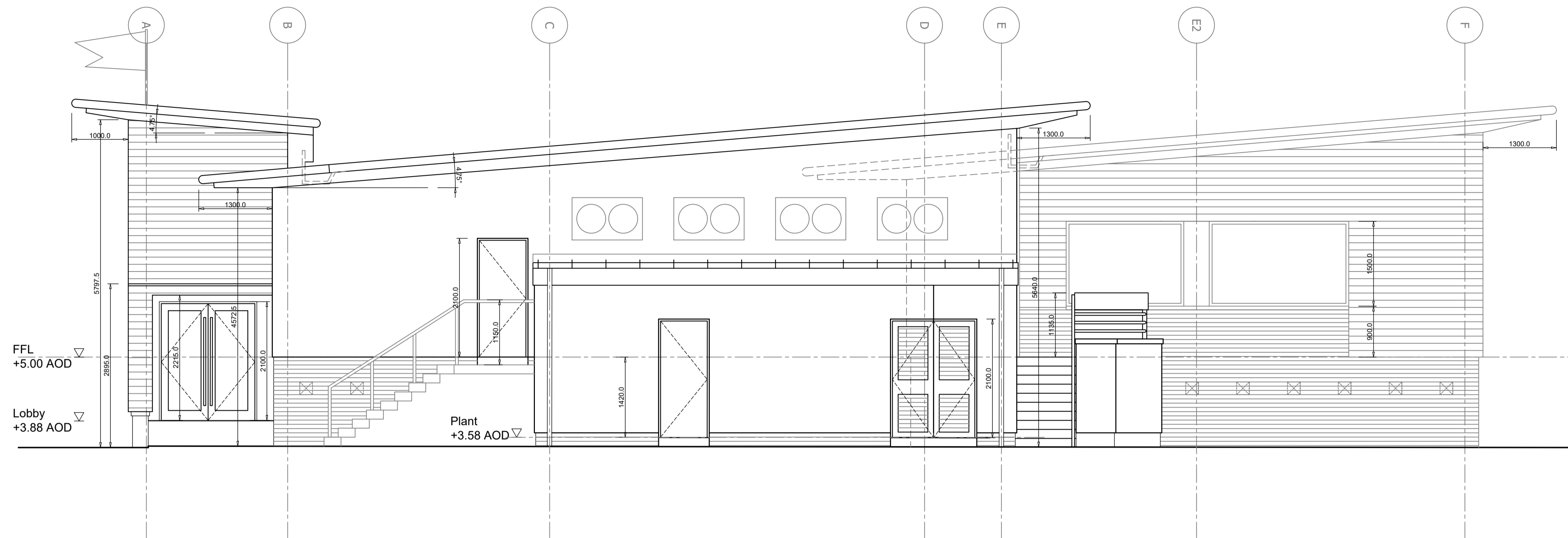
This is a true copy of the drawings referred to in the application:  
 sign.....  
 date.....

Revision:  
 A - 30/10/17 - Floor insulation upgraded, balustrading spec added, glazing manifestation notes added [B. Control]

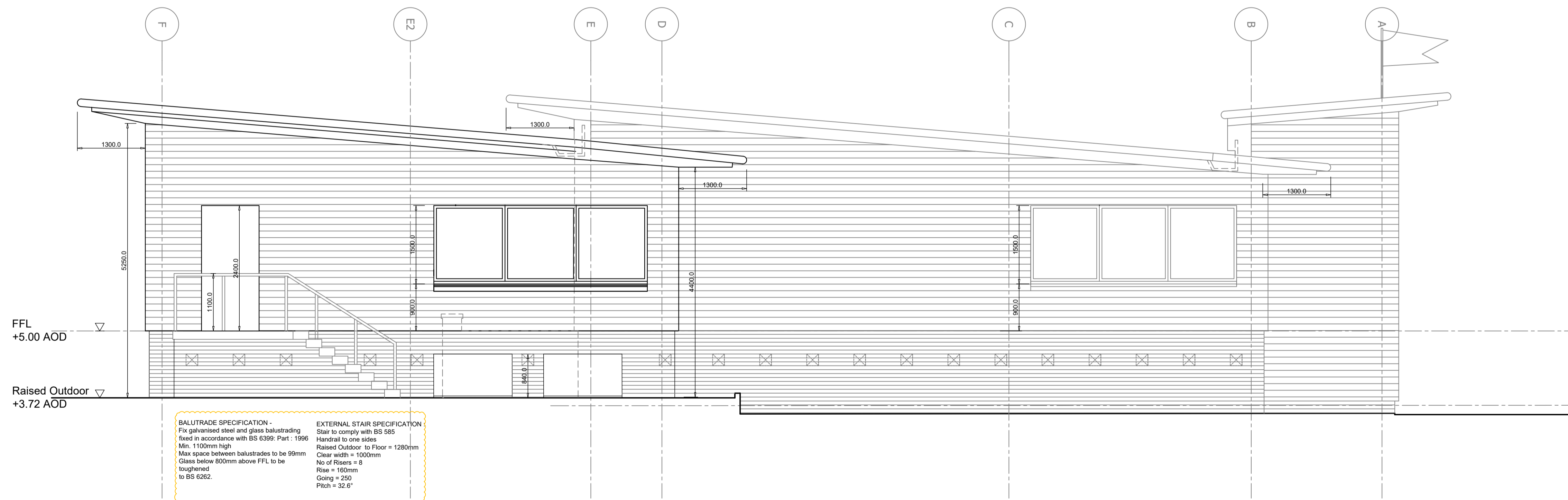
Project:  
 PROPOSED REAURANT  
 BEACH ROAD  
 NORTH SHORE BRASSIE  
 Client:  
 MRS D BIRKS

Drawing:  
 PROPOSED ELEVATIONS - WEST TO THE SEA & EAST TO THE ROAD  
 Drawing No: 546 / 103A  
 Scale: 1:50  
 Date: FEB 2016

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CHECK FLOOR LEVELS  
 PAVEMENT IS ABOUT 4.00 !!!  
 RAISE PLANT ROOM UP TO THIS LEVEL WITH RETAINING WALL AT EDGE  
 OF SERVICE YARD DOWN TO 3.3



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date.....

Revision:  
 A - 30/10/17 - Balustrading spec added [B. Control]

Project:  
 PROPOSED REATAURANT  
 BEACH ROAD  
 NORTH SHORE BRASSIE

Client:  
 MRS D BIRKS

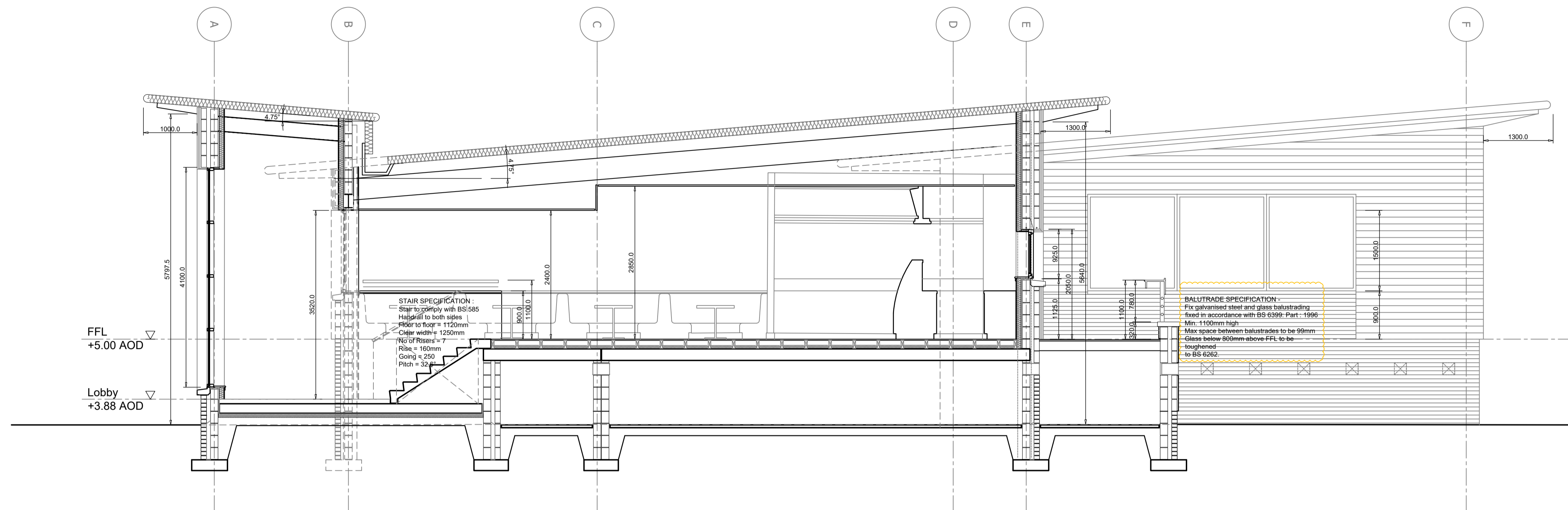
Drawing:  
 PROPOSED ELEVATIONS -  
 NORTH & SOUTH

Drawing No:  
**546 / 104A**

Scale Date  
 1:50 FEB 2016



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date.....

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A - 30/10/17 - Balustrading spec added [B. Control]

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NORTH SHORE BRASSIE

Client:  
MRS D BIRKS

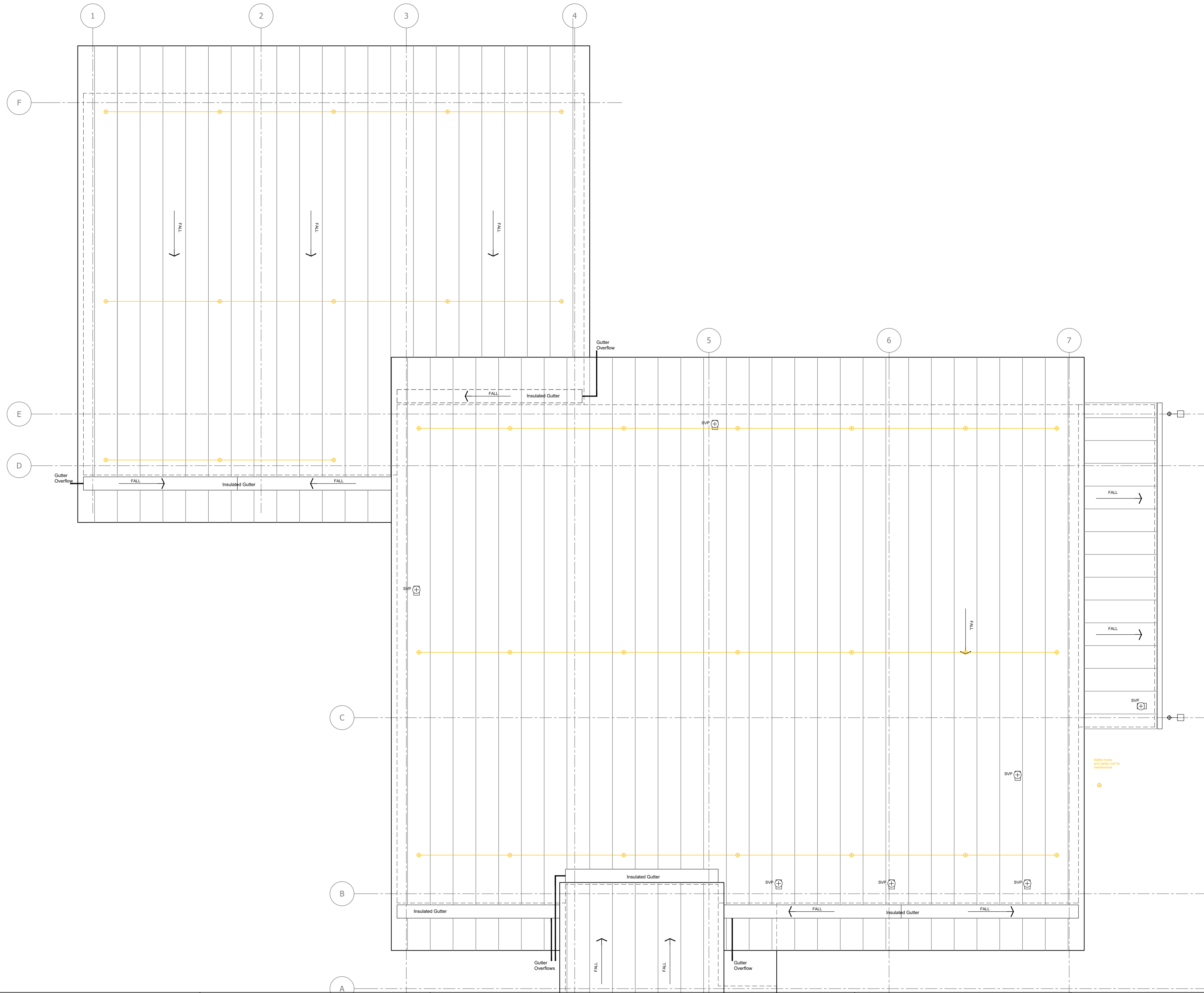
Drawing:  
SECTION AA & BB  
NORTH & SOUTH

Drawing No:  
**546 / 105A**

Scale Date  
1:50 FEB 2016



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sign.....

date.....

Revision:

A - 30/10/17 - Roof access safety anchors added [B. Control]

Project:  
PROPOSED REATAURANT  
BEACH ROAD  
NORTH SHORE BRASSIE

Client:  
MRS D BIRKS

Drawing:  
ROOF PLAN

Drawing No:  
**546 / 106A**

Scale  
1:50

Date  
FEB 2016



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## GENERAL NOTES

### Building Type - Non-Domestic

- Works to be carried out in accordance with the Building (Scotland) Regulations 2004 & 2013 amendments.
- Work to every building designed, constructed & provided with services, fittings & equipment must be carried out in a technically proper & workman like manner, & the materials used must be durable & fit for their intended purpose.
- All materials, services, fittings & equipment used must, so far as reasonably practicable, be sufficiently accessible to enable any necessary maintenance or repair work to be carried out.
- Every service, fitting or piece of equipment provided so as to serve a purpose of the regulations should be designed, installed, & commissioned in such a way as to fulfil those purposes.
- Where any work is being carried out on a building site or building, any neighbouring footpath (including any footpath intended so as to form part of the protective works) shall be regularly cleaned & kept free of building debris & related materials by the person carrying out the work, to the satisfaction of the local authority.
- All works in accordance with the H.A.S.A.W. act 1974.
- All soil being removed from site to be to a licensed tip or coup.
- The contractor is expected to have visited the site prior to submitting a tender, ascertaining the true extent of the work.
- Do not scale from the drawings, if in doubt, Ask.
- All dimensions, levels & angles to be checked on site prior to the ordering of materials, fabrication of any units & commencement of any works.
- All discrepancies & missing information must be immediately notified in writing to the designer.
- Any unusual site conditions to be brought to the attention of the Architect as soon as possible.
- DPC to be 150mm minimum above the ground level & installed in accordance with BS 743. Allow for DPC's around window & door openings.
- Stainless steel wall ties at 450mm/c vertically, 600mm/c horizontally. Ties to be increased to 225 vertical centres at openings & either side of expansion joints.
- Expansion joints to be provided as per plans & detail. Generally at 6m max centres for block work, & 10m centres for facing brick.

The contractor is responsible for confirming the exact location of all existing services prior to commencing any work on site & for any cost of reinstatement due to damage caused during the project construction.

All dimensions to be checked on site by the contractor prior to commencing construction works or ordering of materials. Any discrepancies reported to the Architect immediately in writing.

### All demolition works to BS 6187

No high Alumina cements to be used.  
No asbestos based materials to be used.

### WRITTEN INFORMATION

Written information should be made available for the use of the occupier on the operation & maintenance of the heating & hot water service system to encourage optimum energy efficiency.

### PLANNING - APPROVAL OF MATERIALS

Material samples for roof, precast stone & render, to be approved in writing by the Planning Authority prior to placing any order.

### REFUSE DISPOSAL

Refuse storage provision & collection arrangement to be agreed in writing with the Local Authority Cleansing Department, & agreement copied to Building Control.

### FINISHES

All finishes to be agreed with the client before ordering of any materials.

### HEALTH & SAFETY

Contractor to have visited site prior to start of works to determine safe working method for carrying out works as required by the "Construction (Design & Management) Regulations 2007".

### STRUCTURAL WORKS

All drawings to be read in conjunction with Structural Engineer's notes & specifications together with all other relevant drawings & information.

All steel & timber lintels to be placed in accordance with the manufacturer's written instructions & the Structural Engineer's details & specifications.

Refer to Structural Engineer's details, drawings & specifications for all external foul & surface water drainage, foundations, slabs, lintel, stainless steel wall ties, movement joints, expansion joints, load bearing partitions/walls, steel columns & beams.

### MECHANICAL & ELECTRICAL SERVICES

Refer to M & E Engineer's details, drawings & specifications for all fire alarm & detection, electrics, lighting, air conditioning, heating, ventilation, intruder alarm, data & comms installations.

### FIRE PROTECTION TO STEEL BEAMS

Steelwork to be painted with intumescent paint to provide a minimum 1 hour (Medium) fire protection.

### ENERGY PERFORMANCE CERTIFICATE

The energy performance certificate should be indelibly marked & located in a position that is readily accessible, protected from weather & not easily obscured & a suitable location could be in a cupboard containing the electricity meter or the water supply stopcock.

### ACCESSIBLE ENTRANCE

- Allow for the following at main entrance:
- Unobstructed entrance platt 1.5x1.5m, with a cross fall of not more than 1 in 50
  - have an external spotlight adjacent to door
  - have an accessible threshold &
  - have a door leaf giving a clear opening width of at least 800mm &
  - have an unobstructed space to the opening face of the door, next to the leading edge, of at least 300mm.

### SUBSTRUCTURE WALLS

102.5mm facing brick, 75mm clear cavity with stainless steel fish tail wall ties to Structural Engineer's specification & 140mm block inner leaf.

### EXTERNAL WALLS -

25mm render or timber cladding on 25x50mm SW treated battens & counter battens, & 100mm block, 75mm clear cavity with stainless steel fish tail wall ties to Structural Engineer's specification & 140mm block inner leaf.

Wall lined internally with 82.5mm Kingspan Kooltherm K17 on 15mm plaster dabs, all taped & filled, plaster skim finish.

All to give U value = 0.22 W/sq.M2K

### WINDOW & DOOR REVEALS

All window & door reveals to be clad with 19mm Gyproc  
Reveal to limit the risk of cold bridging.

### DPM + DPC's

DPC's to be installed minimum of 150mm above finished external ground level. DPC's installed around all openings.

### INTERNAL PARTITIONS

95mm or 75x50mm C16 SW timber frame comprising of verticals at 600mm centres vertically with 95mm or 75x50mm sole plate, header & mid dwang. Frame sheeted either side with Gyproc WallBoard TEN taper edged plasterboard (of mass of 10kg/m<sup>2</sup>). Absorbent layer of 25mm thick Rockwool Flon mineral. Flex to provide minimum density of 10kg/m<sup>3</sup> (Detail compliant with Type 1A of item 4b internal wall details of Example Constructors & Generic Internal Constructors FOR USE WITH SECTION 5: NOISE OF THE TECHNICAL HANDBOOKS).  
Load bearing walls refer to Structural Engineer's design & specification.

All to be installed in strict accordance with the manufacturer's current published details & specifications.

All internal partitions to achieve acoustic performance of 43dBW

### INTERNAL PARTITIONS

(Kitchen, toilets etc.)  
12.5mm moisture resistant plasterboard with taped & filled joints & plaster skim finish.  
75x50mm timbers with 75x50mm top & sole plate & mid height dwangs. 75mm Crownwool insulation between studs.

All to be installed in strict accordance with the manufacturer's current published details & specifications.

All internal partitions to achieve acoustic performance of 43dBW

### INTERNAL DOORS

Doors to be 826x2040mm, style & colour to clients specification. Doors achieve minimum 775mm clear opening width when approached head on. Allow for frame & associated ironmongery.

Refer to plans for door sizes & location of vision panels

Door to Disabled WC to be 916x2040mm

### TIMBER GROUND FLOOR

22mm moisture resistant T & G flooring on floor joists with 70mm thick Kingspan KoolTherm K3 insulation between joists laid on 1000 Gauge polytyfene on precast concrete floor slabs on clockwork support walls.

Ventilated under floor void, see plans for locations of all FAI's with 50mm site concrete on Bituthene DPM any laps to be 200mm & sealed, DPM to be returned up existing walls minimum of 150mm, on minimum 150mm blinded/compacted type 1 hardcore infill. Hardcore up fill & movement joints to Structural Engineer's specification.

All to give U value = 0.19 W/M2K

### PITCHED ROOF

Kingspan KingZip KS1000 ZIP IP standing seam cladding 145mm thick, on purlins on Metsec still beams, supported on steel columns.

All installed in accordance with the manufacturer's published details, drawings & specifications.

All to give U value of 0.15 W/M2K

### EXTERNAL DOORS

- External timber high performance door units fitted with sealed double glazing units of low-e argon gas filled glass.
- Security locking system & toughened safety glass to BS6262. If applicable, BS 7412: 2007 BS PAS 24: 2007
- External glazed doors to have laminate glass.

All to give U value of 1.6 W/M2K

### WINDOWS & DOORS

High-performance factory double glazed powder coated aluminium windows, complete with all ironmongery, restrictors, safety catches, weather strips & mastic pointing around perimeter of windows at junction with masonry.

Any windows with glazing below 800mm of FFL or external ground level to be glazed with laminated safety glass both panes of double glazed unit.

All glazing to windows, doors + screens to be in compliance with BS 6262

All to give U value of 1.6 W/M2K

Windows of which any part of glazing is 4.0m above ground level is to be cleanable from the inside in accordance with Clause 8 of BS 6213:Part 1:2004.

- Provide all horizontal & vertical DPC's to window openings.
- Minimum glazed area to apartment window to be no less than 1/15th of the floor area.
- Minimum opening area no less than 1/30th of the floor area.
- Glazing below 800mm from finished floor level to be toughened glass all in accordance with BS 6262 Part 4 2005.
- Allow 20mm weather check to each side.
- Units to be "K" glass 1.6W/m2K u-value & gap filled with argon gas 16mm+ spacing between panes.
- Windows to be hermetically sealed.
- Allow for draught seals at opening areas of window.
- Fill all gaps/voids around window with expanding foam.

### ACCESS TO MANUAL CONTROLS

Windows & roof lights should have controls for opening, positioned at least 350 mm from any internal corner, projecting wall or similar obstruction & at a height of not more than 1.7 m above floor level, where access to controls is unobstructed, or not more than 1.5 m above floor level, where access to controls is limited by a fixed obstruction of not more than 900 mm high which projects not more than 600 mm in front of the position of the controls, such as a kitchen base unit. Where obstruction is greater, a remote means of opening, in an unobstructed location, should be provided, or not more than 1.2 m above floor level, in an unobstructed location, within an enhanced apartment or within accessible sanitary accommodation not provided with mechanical ventilation.

### WINDOWS - TOILETS

Opaque glass to provide obscured glazing to all toilets & bathrooms.

### SECURE BY DESIGN

Security Details for New Doors & Windows:

There are a number of ways in which this can be achieved:

- by meeting the recommendations for physical security in Section 2 of 'Secured by Design' (ACPQ, 2009) or
  - by use of door sets & windows which are tested & certified by a notified body as meeting a recognised standard for security; or
  - by use of door sets & windows manufactured to meet recognised product standards & defined component performance. New doors & windows to be designed & installed to resist forced entry. New door units & new window units to be tested & certified by a notified body as meeting a recognised standard for security such as BS pass 24: 2007 for door sets or BS7950: 1997 for windows to ensure a robust installation, fixing of a door set or window should be in accordance with manufacturers guidelines & as per the recommendations given in section 8 of BS8213-4: 2007.
- door to have - high security hinges, anti-lift device & multi-point deadlocking system with 3 or more hook or similar bolts - each leaf to be independently secured by way of shoot bolts into the frame - any lock cylinder in accordance with BS EN 1303: 2005, grade 5 key security & grade 2 attack resistance as a minimum.
- factory glazed with 24mm thick doubled glazed toughened units
  - glazing to be fully weather rated to BS 6375 part 1 (safety glass).
  - door manufacturer to provide product guarantee to clients satisfaction.
- opening windows to have - keyed locking system that uses a removable key.

### DRAINAGE

It is the contractors responsibility to locate & ascertain the position & nature of existing drainage prior to commencement of works.

- RWP's & soil pipes to connect into existing manhole to drainage system. 68mm diameter uPVC downpipes trapped at base/ 100mm diameter soil vent pipes with hand hole access, connected to existing manhole to drainage with a 100mm diameter uPVC drains.
- To be laid in accordance with the Scottish Building Regulations & to the entire satisfaction of the local authority building control officer.
- Rainwater pipes to be trapped if entering a combined drainage system.
- Drainage laid & tested to the complete satisfaction of the Local Authority Building Control Department, prior to backfilling trenches. It is the contractors responsibility to notify Building Control regarding testing of drains.

### Appliance connections -

Sink - 38mm  
Dishwasher - 38mm  
WHB - 38mm  
WC - 100mm

### INTERNAL LININGS - Spread of Fire

All flammable internal linings to rooms more than 30 sqm [main cafe/restaurant room, entrance lobby and kitchen] are medium risk (1 hour fire protection required) and rooms less than 30 sqm [including toilets in the protected zone] are high risk (2 hour fire protection required).

### LOCKS - at escape routes.

All locks across escape routes [all external doors in this case] require to be operable from the inside without the use of a key, so a thumb turn or push bar is required to be fitted.  
Hardware to comply with the code of practice Hardware for Fire and Escape Doors, Issue 2, June 2006, published by the Door and Hardware Federation and the Guild of Architectural Ironmongers.

### FLOOR SURFACES:

Floor surfaces to corridors and circulation areas within a building should be uniform, permit ease in maneuvering and be of a material and finish that, when clean and dry, provides a level of traction that will minimise the possibility of slipping.

Where there is a change in the characteristics of material on a circulation route, such as from a tile to carpet finish, transition should be level and, where reasonably practicable, differing surfaces should contrast visually to identify the change in material and reduce the potential for trips.

### DOOR CLOSING DEVICES

Heavy door leaves and strong closing devices can make an otherwise accessible door impassable to many building users. The force needed to open and pass through a door, against a closing device, therefore should be limited.  
A door should be capable of operating with an opening force of not more than 30N (for first 30° of opening) and 22.5N (for remainder of swing) when measured at the leading edge of the leaf. Within this limit, a closing device should close the door leaf from any opening angle,

against the resistance of any latch and seals, under normal operating conditions. Where a door across a corridor requires to be retained in a closed position, in normal use or under fire conditions, and this cannot be achieved by use of a closer alone without exceeding these opening forces, a latch should be used to retain the door in a closed position and the door fitted with operating ironmongery.

A free swing device, which only has a closing action when activated by an alarm system, should not be fitted to a door across a circulation route as this permits the door to be left open at any angle, creating a collision hazard.

### FIXED COUNTERS AT SERVICE POINTS

Fixed counter installations such as a reception desk or a serving counter in a bar or restaurant should be accessible to a person who is standing, regardless of stature, or seated in a wheelchair.

To allow this, surfaces should be provided at two levels. For standing users, this should be within a range of 950mm to 1.1m in height. For seated users, this should be approximately 750mm above floor level, with a knee recess below of at least 500mm deep and at least 700mm high and a clear manoeuvring space in front of the surface of at least 1.2m deep. The knee recess is particularly important where activities such as writing may take place, such as at a bank counter. Where depth of the surface will permit, the knee recess should be provided to both sides of the counter.

Where only one such counter is proposed a portion of the surface, not less than 900mm wide or, where practical in larger installations, 1.5m wide, should be installed at lower height. Where a number of similar counters are proposed, at least one counter should be installed at the lower height

### HOT WATER DISCHARGE FROM SANITARY FITTINGS

To prevent the development of Legionella or similar pathogens, hot water within a storage vessel should be stored at a temperature of not less than 60°C and distributed at a temperature of not less than 55°C. Detailed guidance on the control of Legionella may be found in HSE Approved Code of Practice L8 - Legionnaires' Disease - Control of Legionella Bacteria in Water Systems.

A device or system limiting water temperature should not compromise the principal means of providing protection from the risk of Legionella. It should allow flexibility in setting of a delivery temperature, up to a maximum of 48°C, in a form that is not easily altered by building users.

### ARTIFICIAL LIGHTING

Low energy lighting to be used throughout.

### INFORMATION TO BE PROVIDED

Energy Performance Certificate to be provided and fixed to the building at completion.

### AIR TIGHTNESS

Air tightness test to be carried at completion showing compliance.

### FIRE SAFETY

Fire safety design summary to be carried out and issued at completion showing compliance

### SUSTAINABILITY

The statement of sustainability (sustainability label, or SL) that includes the level of sustainability achieved must be fixed to the building prior to completion. The sustainability label should be indelibly marked and located in a position that is readily accessible, protected from weather and not easily obscured

This is a true copy of the drawings referred to in the application:

sign.....

date.....

### Revision:

A - 30/10/17 - Floor insulation upgraded, Internal Linings, spread of flame note added, locks at escape route, floor surface note added, lowered fixed counter note added, Hot water notes added, Low energy lighting note added, Information to be provided added, Sustainability Note added [B. Control]

### Project:

PROPOSED REATAURANT  
BEACH ROAD  
NORTH SHORE BRASSIE

### Client:

MRS D BIRKS

### Drawing:

SPECIFICATION

### Drawing No:

546 / 107A

### Scale

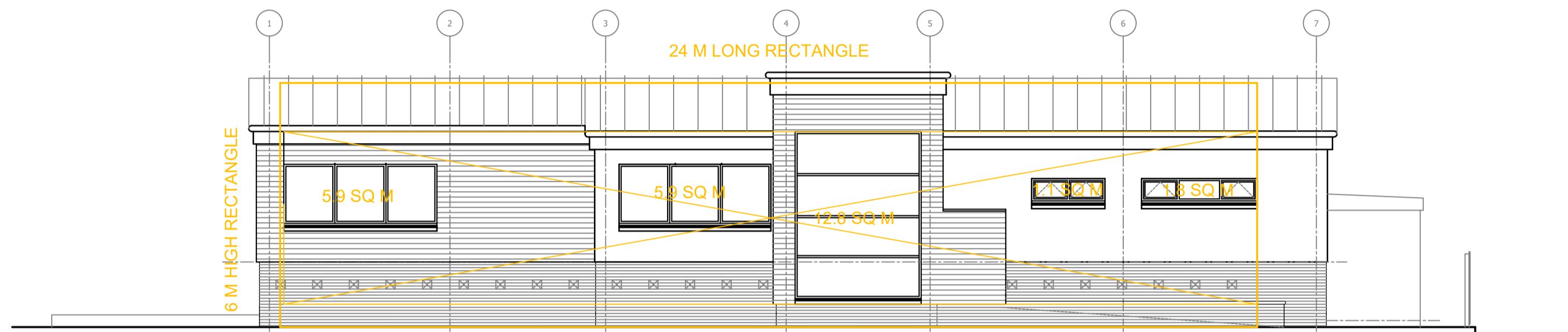
NTS

### Date

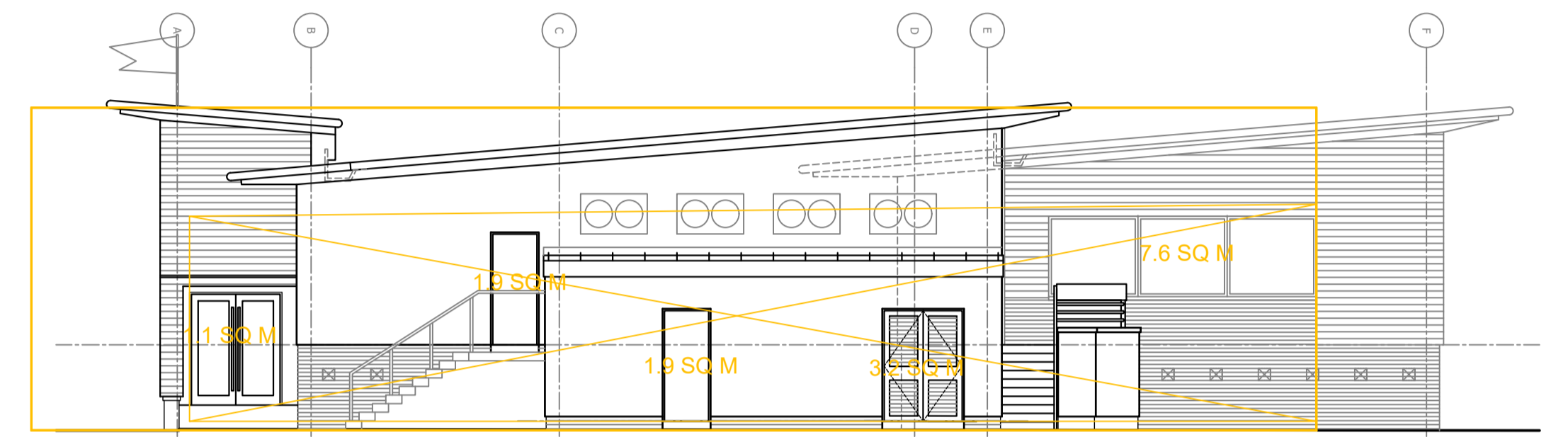
FEB 2016

**CASA**  
DESIGN ARCHITECTS

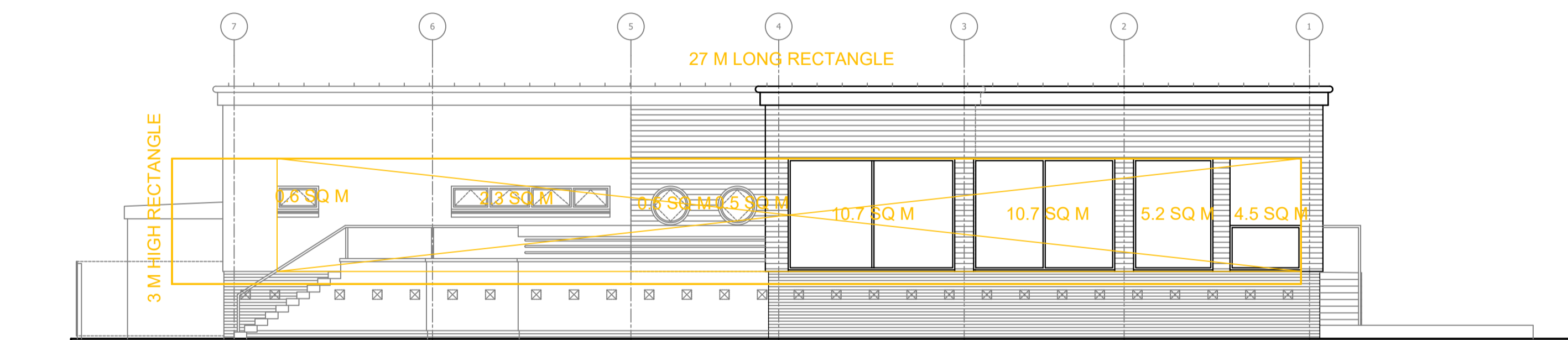
The Studio 14A Beresford Terrace Ayr KA7 2EG  
t. 01292 293949 www.casadesign.co.uk



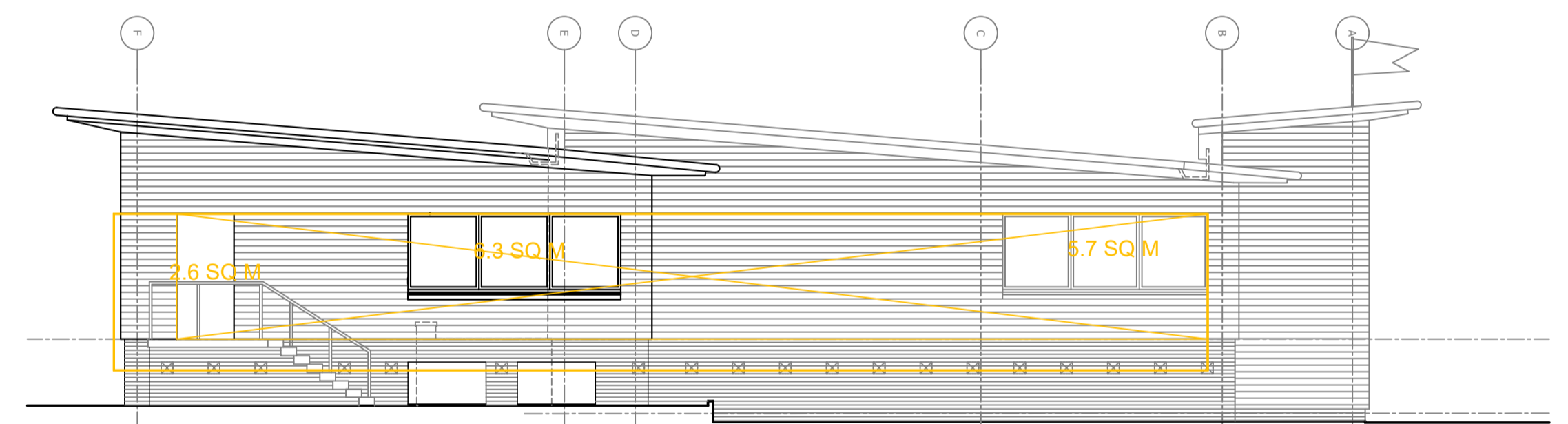
ENCLOSING RECTANGLE 6 X 24M = 144 SQ M  
 UNPROTECTED AREA [GLAZING] = 5.9 + 5.9 + 12.8 + 1.1 + 1.8 = 27.5 SQ M  
 $27.5/144 \times 100 = 19.1\%$  UNPROTECTED AREA  
 SO USING TABLE A ENTERTAINMENT [H - 6, W - 24] DISTANCE TO BOUNDARY FOR 20% IS 3.5M



ENCLOSING RECTANGLE 6 X 24M = 144 SQ M  
 UNPROTECTED AREA [GLAZING] = 3.6 + 1.9 + 1.9 + 3.2 + 7.6 = 18.2 SQ M  
 $18.2/144 \times 100 = 12.6\%$  UNPROTECTED AREA  
 SO USING TABLE A ENTERTAINMENT [H - 6, W - 24] DISTANCE TO BOUNDARY FOR 20% IS 3.5M



ENCLOSING RECTANGLE 3 X 27M = 81 SQ M  
 UNPROTECTED AREA [GLAZING] = 0.6 + 2.3 + 0.5 + 0.5 + 10.7 + 5.2 + 4.5 = 24.3 SQ M  
 $24.3/81 \times 100 = 30.8\%$  UNPROTECTED AREA  
 SO USING TABLE A ENTERTAINMENT CLASS [H - 3, W - 27] DISTANCE TO NOMINAL BOUNDARY FOR 40% IS 4.0M



ENCLOSING RECTANGLE 3 X 21M = 63 SQ M  
 UNPROTECTED AREA [GLAZING] = 2.6 + 6.3 + 5.7 = 14.6 SQ M  
 $14.6/63 \times 100 = 23.2\%$  UNPROTECTED AREA  
 SO USING TABLE B [H - 3, W - 21] DISTANCE TO BOUNDARY FOR 30% IS 3.0M

**BUILDING WARRANT**

This drawing is for information purposes only  
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 Discrepancies to be reported to CASA Design  
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This is a true copy of the drawings referred to in the application:

sign.....

date.....

Revision:

Project:  
 PROPOSED REATAURANT  
 BEACH ROAD  
 NORTH SHORE BRASSIE

Client:  
 MRS D BIRKS

Drawing:  
 PROPOSED ELEVATIONS  
 - NOTIONAL BOUJDARY CALCULATIONS

Drawing No:  
**546 / 108**

Scale Date  
 1:100 OCT 2017



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